



**SITE INFORMATION**

- APPLICANT:  
CRANSTON MECU  
1615 PONTIAC AVENUE  
CRANSTON, RI 02920
- OWNER:  
RICA REALTY LLC  
535 ATWOOD AVENUE, SUITE 4  
CRANSTON, RI 02920
- PARCEL:  
MAP 15, LOT 1012 & 1014  
1224 OAKLAWN AVENUE  
CITY OF CRANSTON  
PROVIDENCE COUNTY, RHODE ISLAND

**ZONING ANALYSIS TABLE**

ZONING DISTRICT	REQUIRED PERMIT	REQUIRED	EXISTING	PROPOSED
COMMERCIAL: HIGHWAY BUSINESS (C-4)	BUILDING PERMIT, DEVELOPMENT PLAN REVIEW			
MIN. LOT AREA	20,000 SF	24,661 SF	NO CHANGE	
MIN. LOT WIDTH	120 FT	150 FT	NO CHANGE	
MAX. BLDG COVERAGE	50%	N/A	10.1%	
MIN. FRONT SETBACK	40 FT	N/A	71.9 FT	
MIN. SIDE SETBACK	20 FT	N/A	28.3 FT	
MIN. REAR SETBACK	20 FT	N/A	38.9 FT	
MAX. BUILDING HEIGHT	35 FT	N/A	< 35 FT	
MAX. IMPER. COVERAGE	90%	98.5%	70.3%	
PARKING SPACES	9	N/A	17	
ACCESS. PARKING SPACES	1	N/A	2	
PARKING STALL CRITERIA STANDARD: 9 FT x 18 FT	USE/CATEGORY: BANK/BUSINESS REQUIRED PARKING: 1 SPACE PER 300 SF GFA CALCULATION: 2,500+ SF X (1 SPACE/300 SF) = 9 SPACES			
ACCESSIBLE PARKING CRITERIA STANDARD: 8 FT x 18 FT STALL (MIN.) 5 FT x 18 FT AISLE (MIN.) VAN: 8 FT x 18 FT STALL (MIN.) 8 FT x 18 FT AISLE (MIN.)	1-25 SPACES = 1 MIN. ACCESSIBLE SPACE 26-50 SPACES = 2 MIN. ACCESSIBLE SPACES 51-75 SPACES = 3 MIN. ACCESSIBLE SPACES 76-100 SPACES = 4 MIN. ACCESSIBLE SPACES 101-150 SPACES = 5 MIN. ACCESSIBLE SPACES 151-200 SPACES = 6 MIN. ACCESSIBLE SPACES 201-300 SPACES = 7 MIN. ACCESSIBLE SPACES 301-400 SPACES = 8 MIN. ACCESSIBLE SPACES	401-500 SPACES = 9 MIN. ACCESSIBLE SPACES 501-1,000 SPACES = 10+ MIN. ACCESSIBLE SPACES 1001+ SPACES = MIN. 20 + 1 FOR EACH 100 SPACES OVER 1,000		

**BOHLER**  
SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

**811**  
Know what's below.  
Call before you dig.  
ALWAYS CALL 811  
It's fast. It's free. It's the law.

**PERMIT SET**

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MAA220223.00  
DRAWN BY: CPB/MJW  
CHECKED BY: LMD  
DATE: 01/31/2023  
CAD ID: MAA220223.00-SPPD-0C

**PROPOSED SITE PLAN DOCUMENTS**

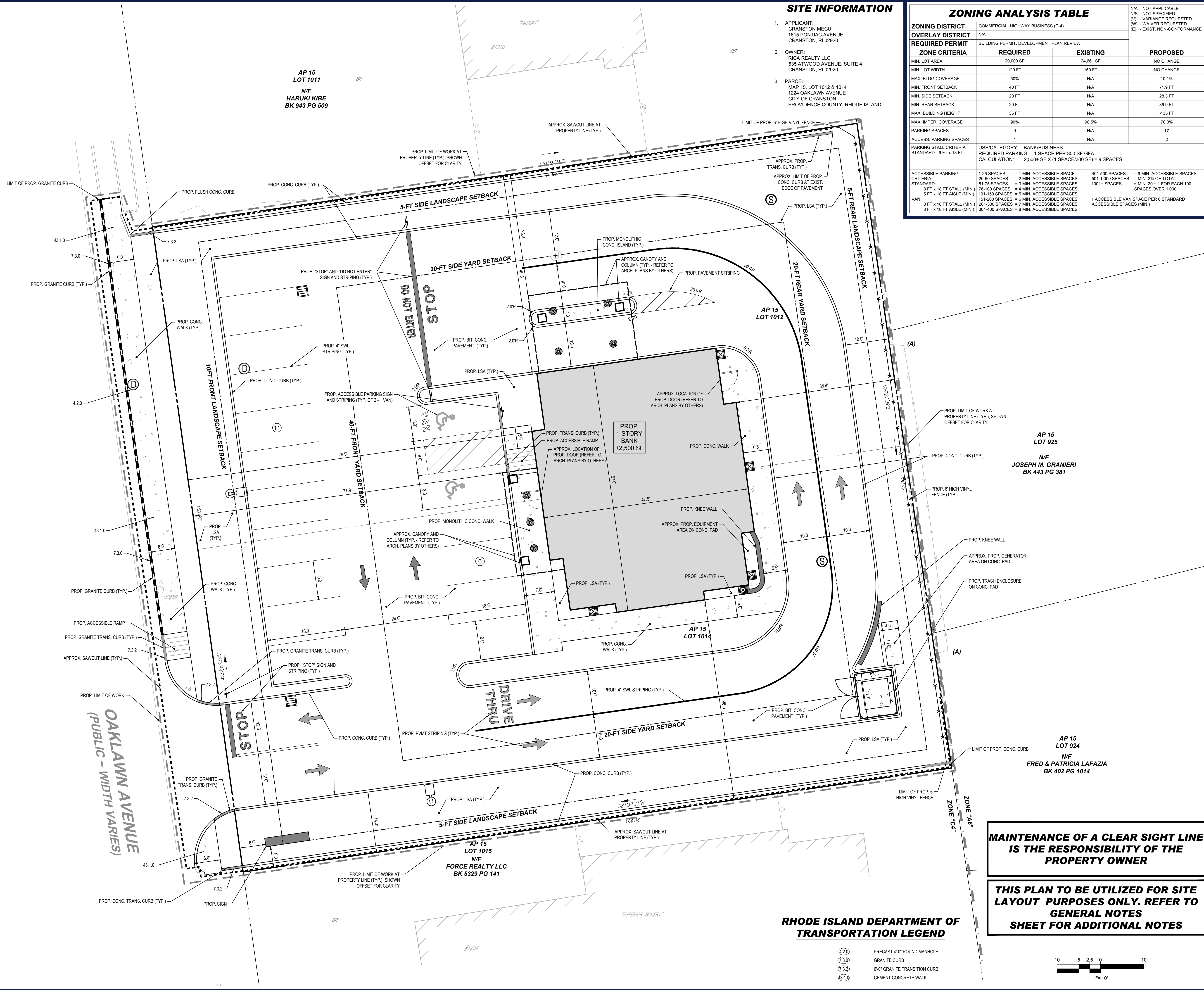
FOR  
**CRANSTON MECU**

PROPOSED  
BANK WITH DRIVE THRU  
MAP: 15 LOTS: 1012 & 1014  
1224 OAKLAWN AVENUE,  
CITY OF CRANSTON,  
PROVIDENCE COUNTY,  
RHODE ISLAND

**BOHLER**  
352 TURNPIKE ROAD  
SOUTHBOROUGH, MA 01772  
Phone: (508) 480-9900  
www.BohlerEngineering.com

**J.G. SWERLING**  
PROFESSIONAL ENGINEER  
MASSACHUSETTS LICENSE No. 41697  
NEW HAMPSHIRE LICENSE No. 14696  
MAINE LICENSE No. 13816  
CONNECTICUT LICENSE No. 38785  
RHODE ISLAND LICENSE No. 11425

SHEET TITLE:  
**SITE LAYOUT PLAN**  
SHEET NUMBER:  
**C-301**  
ORG. DATE - 01/31/2023



**MAINTENANCE OF A CLEAR SIGHT LINE IS THE RESPONSIBILITY OF THE PROPERTY OWNER**

**THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL NOTES**

**RHODE ISLAND DEPARTMENT OF TRANSPORTATION LEGEND**

- (420) PRECAST 4'-0" ROUND MANHOLE
- (730) GRANITE CURB
- (732) 6'-0" GRANITE TRANSITION CURB
- (4310) CEMENT CONCRETE WALK



P:\2022\MAA220223.00\CAD\DRAWINGS\PLAN SET\CIVIL SITE PLANS\MAA220223.00-SPPD-0C.dwg - LAYOUT: C-301 SITE