

City of Cranston
Zoning Board of Review
Application

Application for exception or variation under the zoning ordinance "City of Cranston Zoning Code, December 1994 Edition as amended."

To: Cranston Zoning Board of Review
35 Sockanosset Crossroad Suite 6
Cranston, RI 02920

Date: 1/25/2022

THE UNDERSIGNED HEREBY APPLIES TO THE ZONING BOARD OF REVIEW FOR AN EXCEPTION OR A VARIATION IN THE APPLICATION OF THE PROVISIONS OR REGULATIONS OF THE ZONING ORDINANCE AFFECTING THE FOLLOWING DESCRIBED PREMISES IN THE MANNER AND ON THE GROUNDS HEREINAFTER SET FORTH.

OWNER: Fernando Valero

ADDRESS: 29 Bethel St. Cranston, RI ZIP CODE: 02920

APPLICANT: Same as above

ADDRESS: ZIP CODE:

LESSEE:

ADDRESS: ZIP CODE:

1. ADDRESS OF PROPERTY: 29 Bethel St. Cranston, RI 02920

2. ASSESSOR'S PLAT #: 12 BLOCK #: 2 ASSESSOR'S LOT #: 525/526 WARD:

3. LOT FRONTAGE: 80' LOT DEPTH: 90' LOT AREA: 7200 SF

4. ZONING DISTRICT IN WHICH PROPERTY IS LOCATED: A8 8000 SF 35'
(ZONE) (AREA LIMITATION) (HEIGHT LIMITATION)

5. BUILDING HEIGHT, PRESENT: 25' PROPOSED: 25'

6. LOT COVERAGE, PRESENT: 656 SF PROPOSED: 2,088 SF

7. HOW LONG HAVE YOU OWNED THE ABOVE PREMISES? 6 months

8. ARE THERE ANY BUILDINGS ON THE PREMISES AT PRESENT? Yes

9. GIVE SIZE OF EXISTING BUILDING(S): 26' x 26'

10. GIVE SIZE OF PROPOSED BUILDING(S): 19' x 46'

11. WHAT IS THE PRESENT USE? Residential

12. WHAT IS THE PROPOSED USE? Residential

13. NUMBER OF FAMILIES FOR WHICH BUILDING IS TO BE ARRANGED: 2

14. DESCRIBE IN DETAIL THE EXTENT OF PROPOSED ALTERATIONS: Addition to existing structure.
Addition to consist of living room, Kitchen, Dining area and
mudroom on 1st floor and 2 bedrooms, 2 baths on 2nd floor
Also large outdoor living space's


15. HAVE YOU SUBMITTED PLANS TO THE BUILDING OFFICIAL? No

16. WERE YOU REFUSED A PERMIT? No

17. PROVISION OR REGULATION OF THE ZONING ORDINANCE OR STATE ENABLING ACT UNDER WHICH APPLICATION FOR EXCEPTION OR VARIANCE IS MADE.
Alteration to existing non compliant structure
Under sized lot

18. STATE GROUNDS FOR EXCEPTION OR VARIANCE IN THIS CASE: We would like to make the
house larger to accomodate our growing family as well as
to be able to comfortably enjoy the out doors. We also often
have relatives from out of country that come to visit and would
like to have extra room for them to stay

SIGNATURE OF APPELLANT(S) AND ATTORNEY (IF APPLICABLE) IS REQUIRED AND MUST BE LEGIBLE.



(OWNER SIGNATURE)

RESPECTFULLY SUBMITTED,

(774) 236-8178

(PHONE NUMBER)

(OWNER SIGNATURE)

(PHONE NUMBER)

(APPLICANT SIGNATURE)

(PHONE NUMBER)

(LESSEE SIGNATURE)

(PHONE NUMBER)

(ATTORNEY SIGNATURE)

(PHONE NUMBER)

(ATTORNEY NAME-PLEASE PRINT)

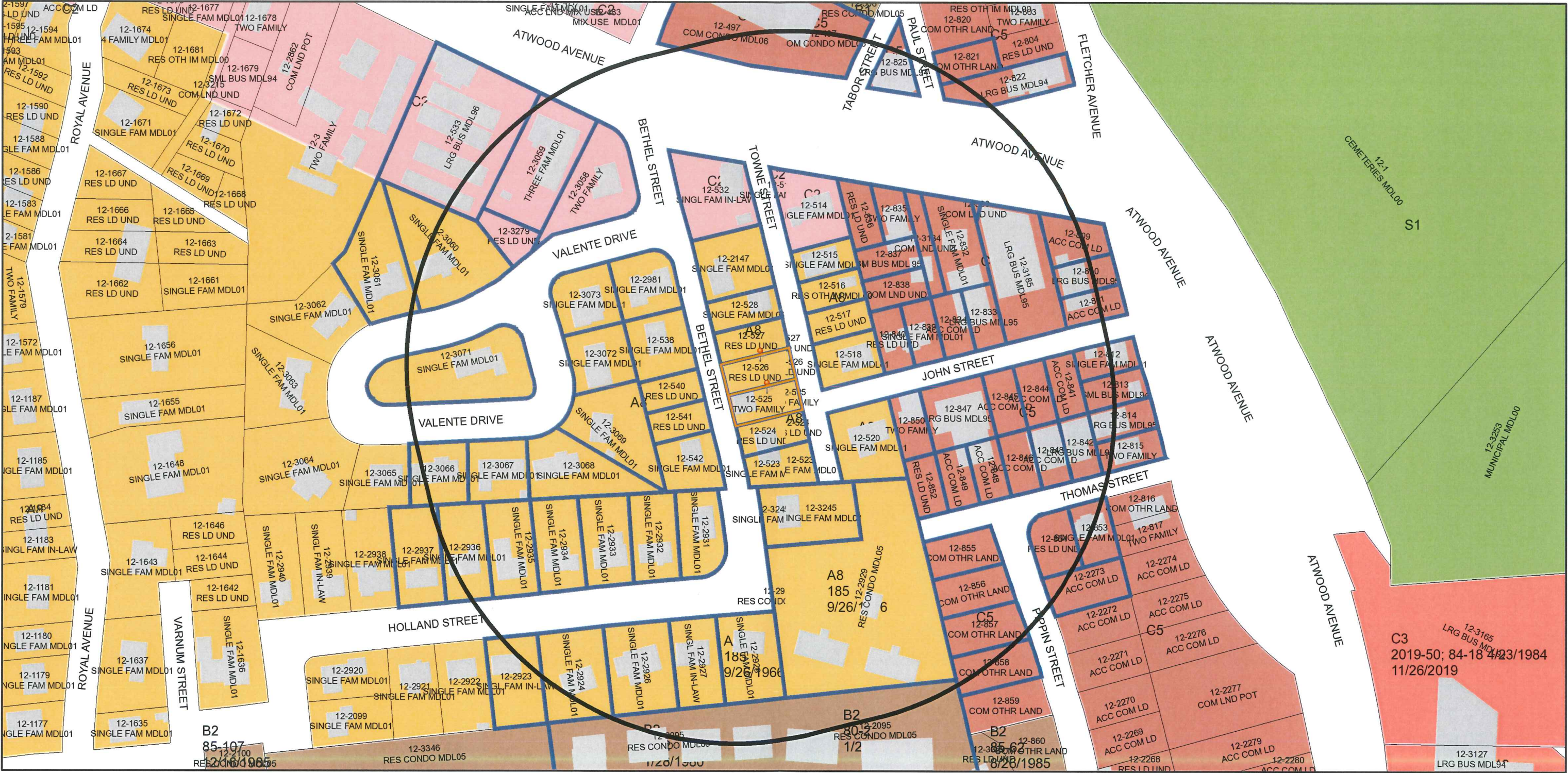
ATTORNEY ADDRESS: _____

PRE-ZONING APPLICATION MEETING:

(PLANNING DEPT. SIGNATURE)

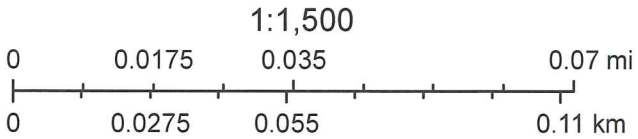
(DATE)

29 Bethel St 400' Radius Plat 12 Lots 525 & 526

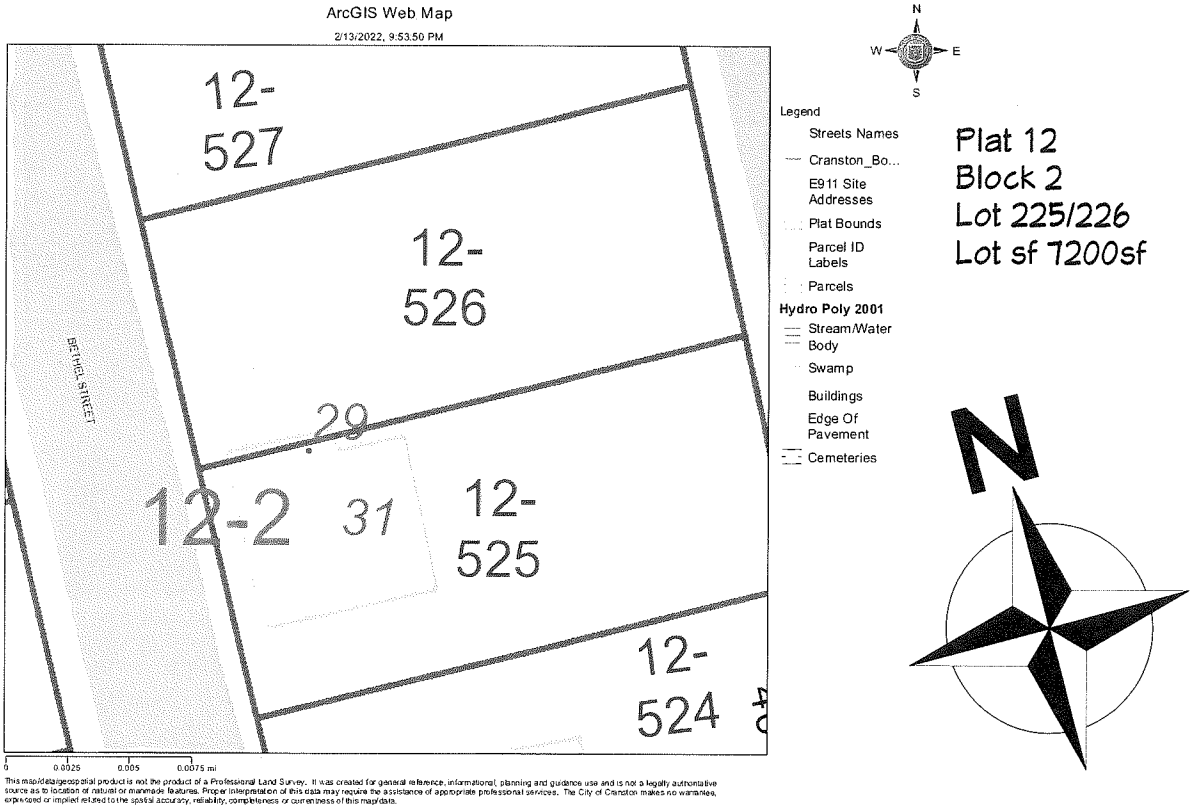


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Parcel ID Labels		Historic Overlay District		A8		C3		MPD
Streets Names		Zoning		A6		C4		S1
Cranston Boundary		none		B1		C5		Other
Parcels		A80		B2		M1		
Buildings		A20		C1		M2		
Zoning Dimensions		A12		C2		EI		



City of Cranston



Layout Page Table		
Label	Title	Description Comments
P-1	Site plan	
P-2	Existing	
P-3	Foundation	
P-4	First Floor	
P-5	Second floor	
P-6.1	Elevations	
P-7	Construction Detail	

DRAWINGS PROVIDED BY:

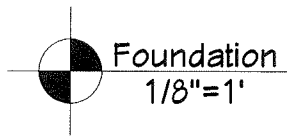
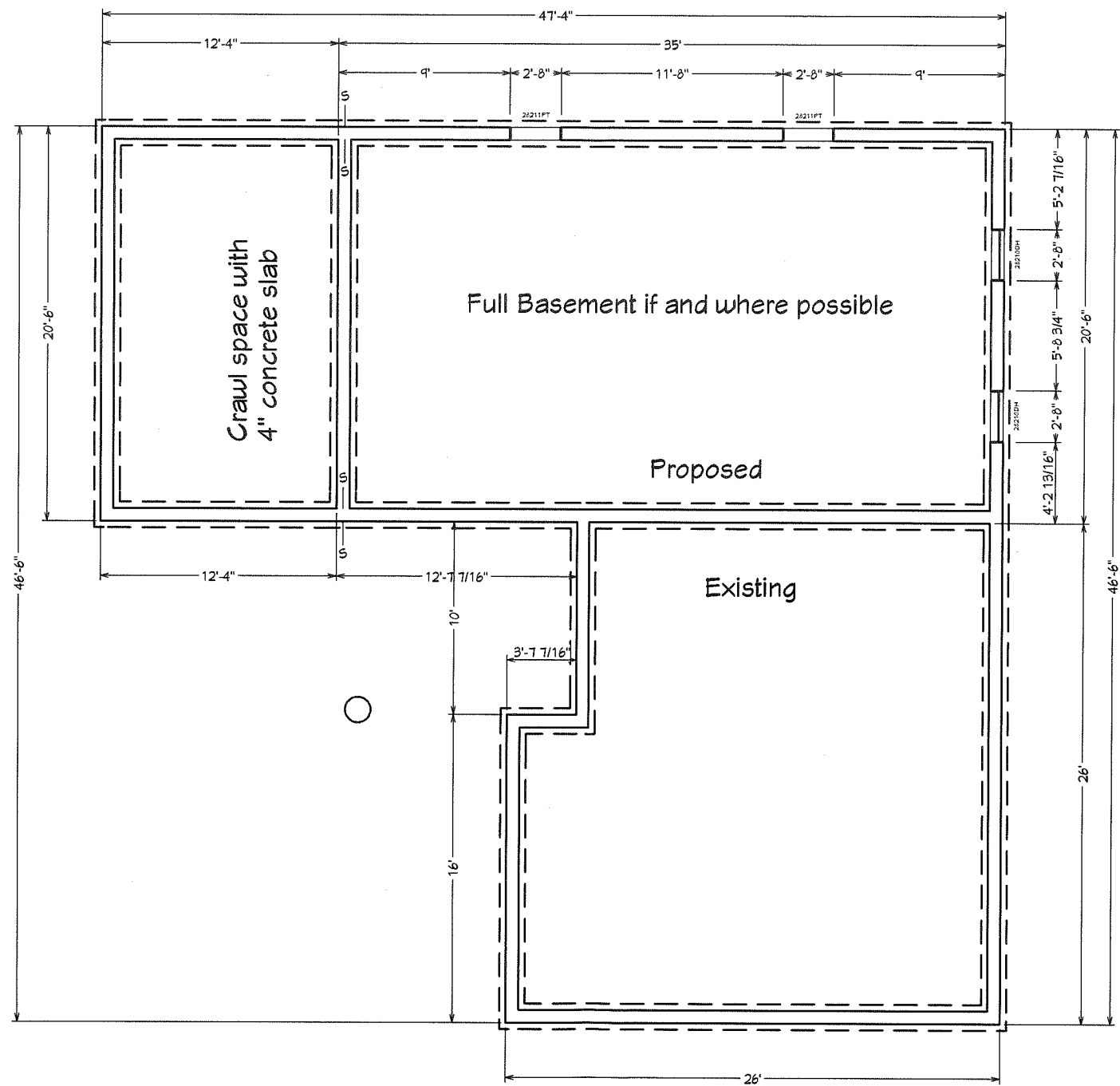
Fernando Valero
29 Bethel Street
Cranston, RI 02920
(774)236-9178

DATE:

3/3/22

SHEET:

P-2



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 29 Bethel Street
 Cranston, RI 02920
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DATE:

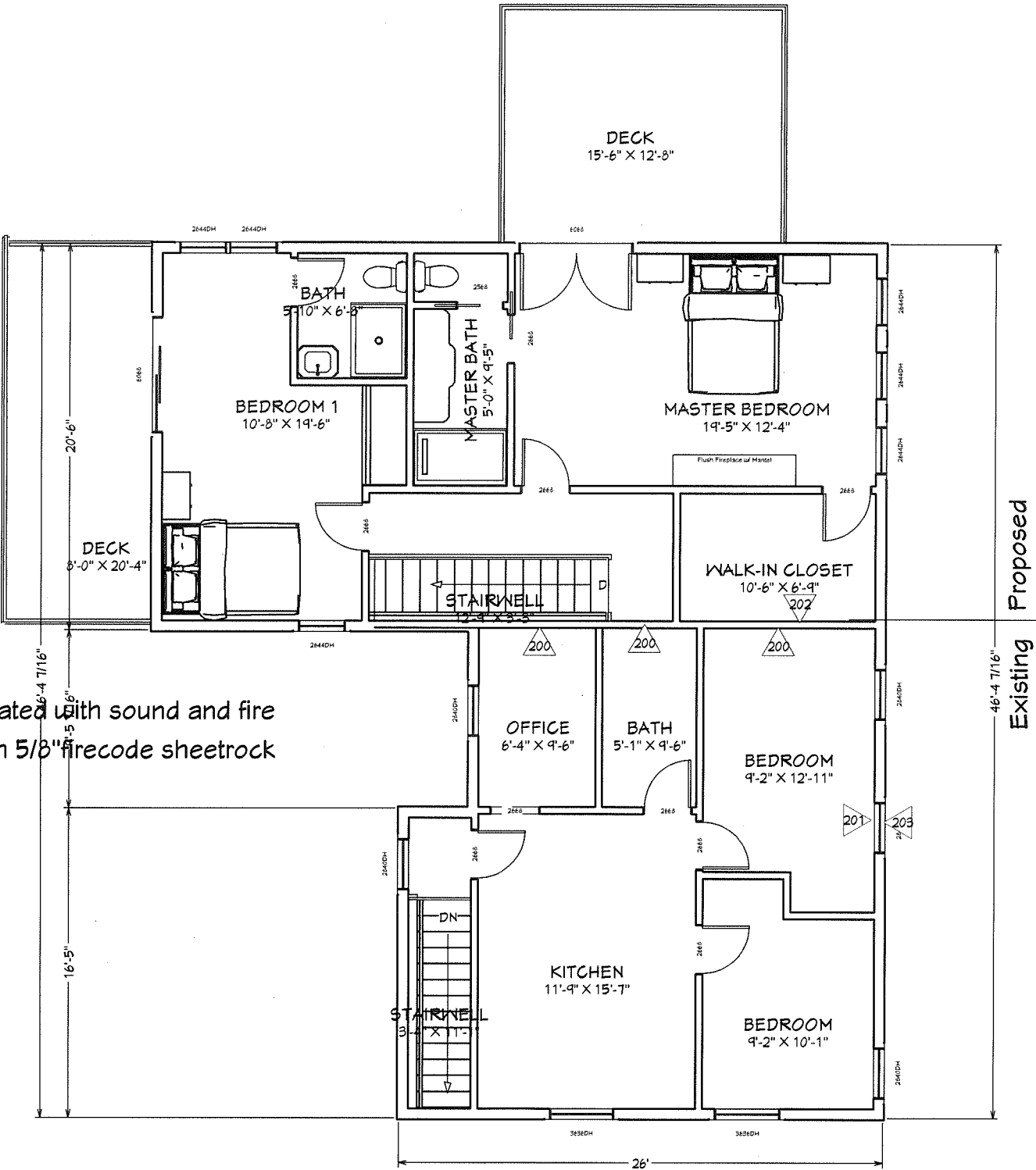
3/3/22

SHEET:

P-3

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Wall between units to be insulated with sound and fire retardant insulation covered with 5/8" firecode sheetrock



Second floor
1/8"=1'

Demolition notes	
200	Existing window to be removed
201	Egress window to be cut in and installed
202	Existing fire escape to be removed and salvaged
203	Salvaged fire escape to be reinstalled here

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3/3/22

SHEET:

P-5



North Eleavation
3/16"=1'

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SHEET:

P-6.2



East elevation
1/4"=1'

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SHEET:
P-6.3



South elevation
3/16"=1'

Layout Page Table			
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P-6.4

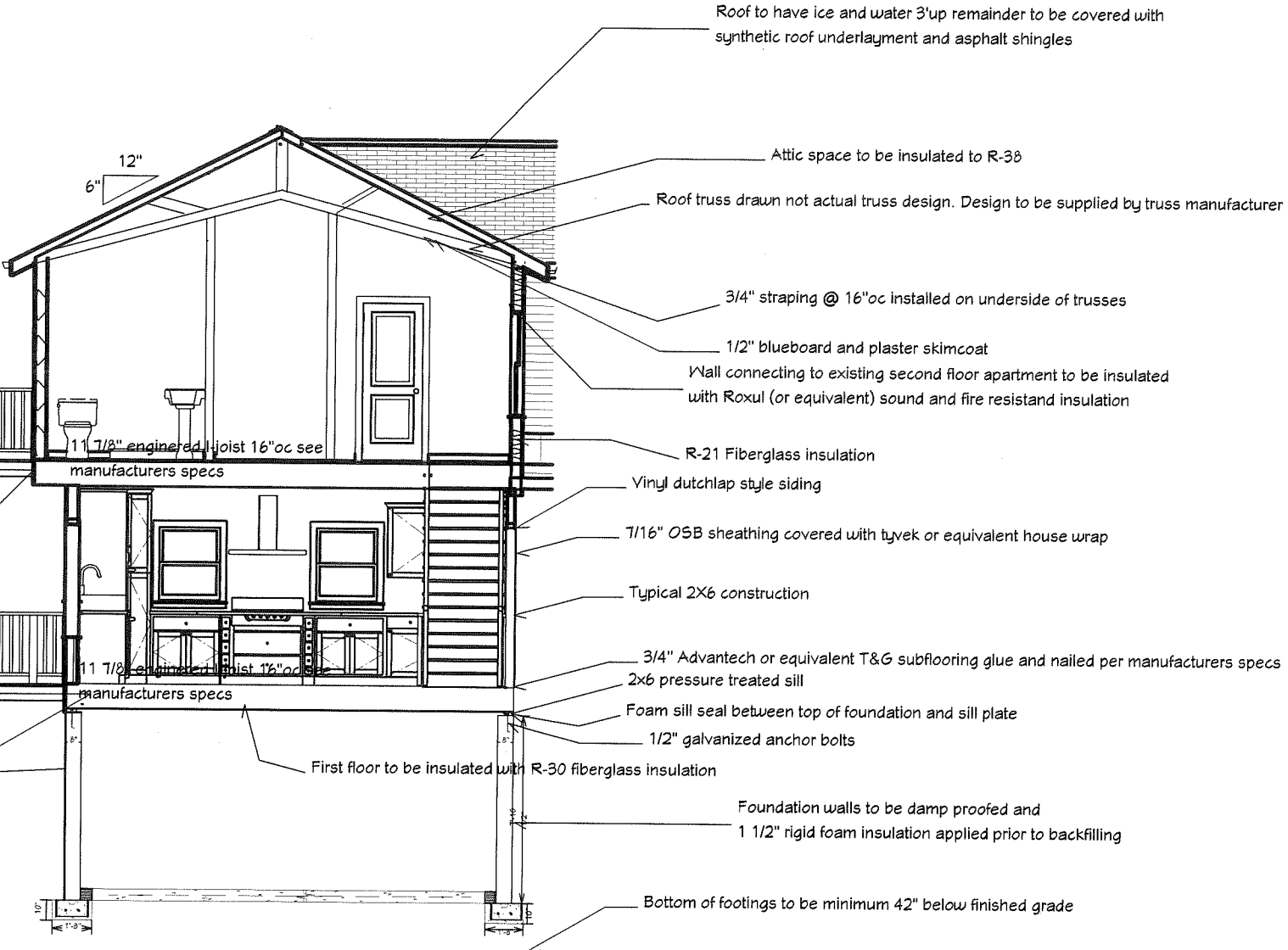
FRAMING NOTES:
PROVIDE DOUBLE JSTS. UNDER ALL WALLS RUNNING
PARALLEL TO JOISTS.
PROVIDE POSITIVE VENTILATION AT EA. END OF EA. RAFTER
SPACE AT VAULTED CEILING AREAS.
PROVIDE FIRE BLOCKING, DRAFT STOPS AND FIRE STOPS
AS PER I.B.C. SEC. R502.12.
PROVIDE POSITIVE CONECTIONS AT EACH END OF ALL
POSTS AND COLUMNS TO RESIST LATERAL DISPLACEMENT.

LUMBER SPECIES:
POSTS, BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE DF-#2.
EXPOSED ARCH BEAMS TO BE DF-#1 OR BETTER.
SILLS, PLATES BLOCKING, AND BRIDGING TO BE DF-#2.
ALL STUDS TO BE DF#2 OR BETTER.
PLYWOOD SHEATHING SHALL BE AS FOLLOWS:
ROOF SHEATHING SHALL BE 5/8" PLYWOOD OR 9/32 OSB.
WALL SHEATHING SHALL BE 1/2" INT-APA RATED 32/16 OR
7/16" OSB.
FLOOR SHEATHING SHALL BE 3/4" T & G INT-APA RATED OSB.

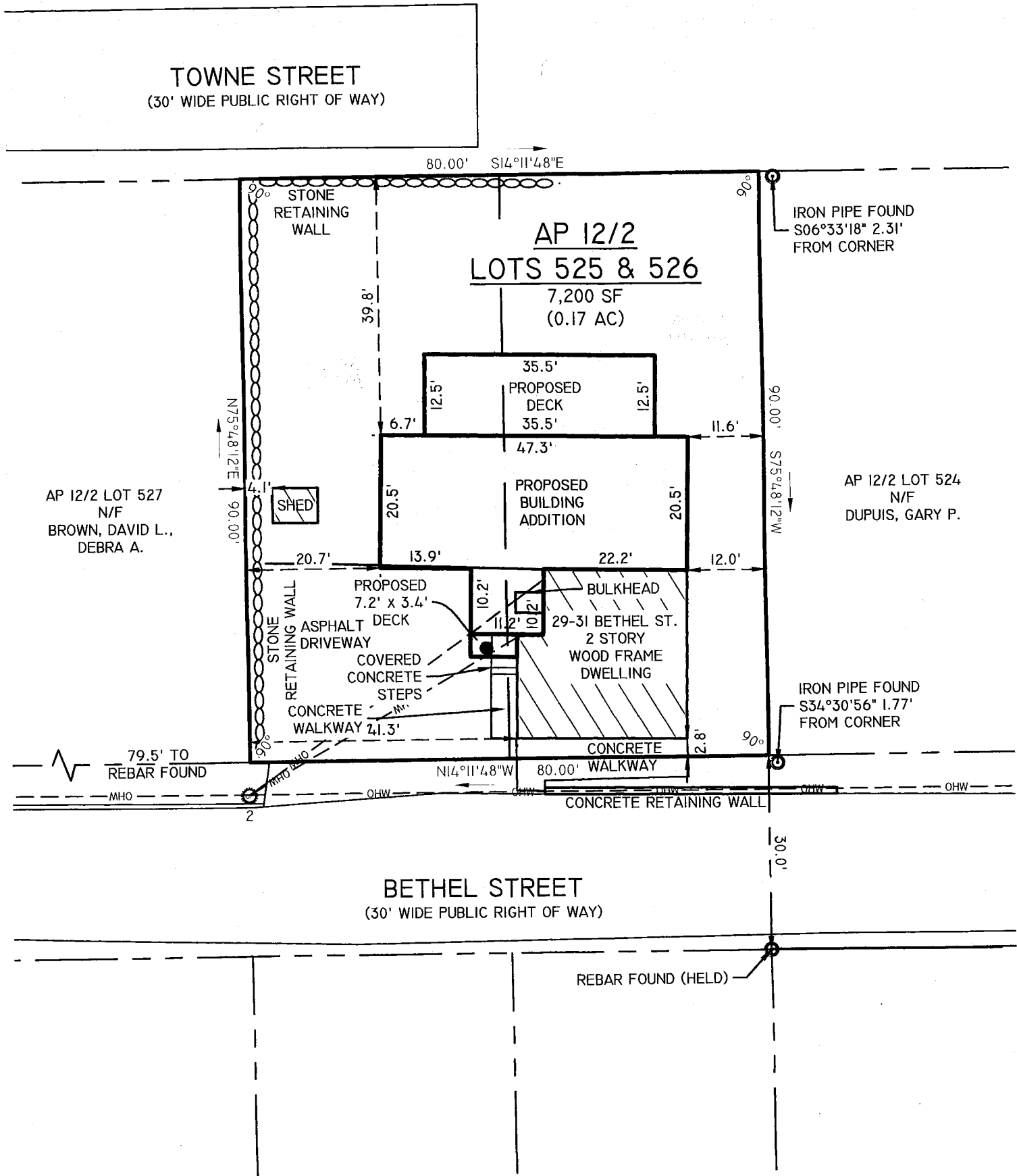
Composite rails 36" high to top rail
composite decking
2x8 pressure treated framing
Deck ledger to be attached using simpson galvanized
deck tension ties and ledger lok screws in between
4x4 pressure posts with simpson post brackets
top and bottom or thru bolted to framing
Composite deck rails
Composite decking
2x10 pressure treated framing
Deck ledger to be attached using simpson deck
tension tie kit and ledger lok screws in between
post to be anchored to concrete footing
precast concrete footings to be minimum
42" below finish grade

DOOR AND WINDOW NOTES:
EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS
WINDOW WITH FINISH SILL HEIGHT NOT GREATER THAN 44"
ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A
MINIMUM OPENABLE AREA OF 5.7 SQ. FT. EGRESS
WINDOWS SHALL NOT HAVE AN OPENABLE AREA LESS THAN
20" WIDE OR 24" HIGH.
ALL WALK-THRU DOORS SHALL BE SOLID CORE
INTERIOR DOORS SHALL BE PAINTED. ENTRY DOOR TO BE
DEFINED BY HOME OWNER PRIOR ORDERING
DOORS BETWEEN GARAGE AND LIVING AREA SHALL BE
1-3/4" TIGHT FITTING SOLID CORE DOORS WITH A RATING
OF 60 MINUTES. DOOR SHALL BE SELF CLOSING
EXTERIOR EXIT DOORS WILL BE 36" MIN. NET CLEAR
DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPENABLE
FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL
KNOWLEDGE OR EFFORT. GLAZING IN DOORS SHALL BE
DUAL PANE SAFETY GLASS WITH MIN. U-VALUE OF 0.60
GARAGE DOORS TO BE SECTIONAL, OVERHEAD DOORS

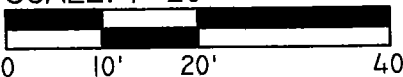
ROOF FRAMING / TRUSS NOTES:
TRUSS DRAWING IS FOR ILLUSTRATION ONLY. ALL TRUSSES SHALL BE
INSTALLED & BRACED TO MANUFACTURERS DRAWINGS & SPECIFICATIONS.
ALL TRUSSES SHALL CARRY MANUFACTURERS STAMP.
ALL TRUSSES WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPT.
APPROVAL OF ENGINEERING CALCULATIONS.
ALL TRUSSES SHALL HAVE DESIGN DETAILS & DRAWINGS ON SITE FOR
FRAMING INSPECTION.
ALL CONNECTIONS OF RAFTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TO
BE PROVIDED BY TRUSS MANUFACTURER.
ALL ROOF FRAMING 24" O.C.
ALL OVERHANGS 16".
INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE
LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR
AND WINDOW ROUGH OPENING CAVITIES.
ATTIC VENTILATION: REQUIRED ABOVE HOUSE.
MIN. SNOW LOAD 50 LBS PER SQUARE FOOT.
WALL HEADERS: (2) 2 X 10 DF 2 TYP. UNO
ROOF & FLOOR TRUSS MANUFACTURER:



z:\domain\projects\3150-001 bethel street 29\autocad drawings\3150-001-ppln.dwg Plotted: 3/2/2022



SCALE: 1"=20'



2. THE OWNER PER DEED BOOK 6342, PAGE 31
3. THIS SITE IS LOCATED IN FEMA FLOOD ZON MAP REVISED OCTOBER 10, 2015. THIS DESI SPECIALIST OR BY THE RESULTS OF A COMI
4. THERE WERE NO CEMETERIES, GRAVE SITES THE SURVEY.
5. FIELD SURVEY PERFORMED BY DIPRETE ENG GROUND CONDITIONS AS OF THAT DATE.
6. THIS SURVEY WAS PREPARED WITHOUT THE RESPONSIBLE FOR ANY UNKNOWN OR UNREC WOULD DISCLOSE.
7. THIS PLAN IS SUBJECT TO THE ACCEPTANC REFERENCE 5.

PLAN REFERENCES

1. "LARKIN PARK, CRANSTON R.I. BELONGING SCALE 1" = 80'. PLAT CARD 115 B
2. "MANENDE HEIGHTS, CRANSTON R.I. BELON CHAPPY. NOVEMBER 1949. SCALE 1" = 60'. I
3. "VALENTE MANOR SITUATED IN CRANSTON, CARD 400 B.
4. "LARKIN PARK PLAT, REPLAT OF RECORD L SKORUPSKI. LOCATED IN CRANSTON. DECEM
5. ADMINISTRATIVE SUBDIVISION, REPLAT OF 526, CRANSTON, RHODE ISLAND, SCALE 1"= ENGINEERING.

ZONING NOTES

1. THE PARCEL IS ZONED A8 PER THE ASSES
2. THE ZONING ORDINANCE SECTION 17.20.120
MINIMUM LOT AREA
MINIMUM FRONTAGE AND LOT WIDT
MINIMUM FRONT YARD
MINIMUM REAR YARD
MINIMUM SIDE YARD
MAXIMUM LOT COVERAGE
MAXIMUM HEIGHT

THE ABOVE NOTES ARE BASED ON INFORMATION DATABASE AND THEIR ZONING ORDINANCE ONLY. SITE ARE NOT TAKEN INTO CONSIDERATION. P ADDITIONAL INFORMATION OR FOR A CERTIFICA

EXISTING LOT C
PROPOSED LOT

SURVEYOR'S CERTIFICATE

THIS SURVEY HAS BEEN CONDUCTED AND THE 435-RICR-00-00-1.9 OF THE RULES AND REGU REGISTRATION FOR PROFESSIONAL LAND SUR

- LIMITED CONTENT BOUNDARY SURVEY (BUILDING LOCATION)

THE PURPOSE FOR THE CONDUCT OF THE SUR FOLLOWS: PERIMETER RETRACEMENT TO SHO

ROBERT G. BABCOCK

