

January 11, 2023

VIA HAND DELIVERY & EMAIL

Zoning Board of Review
c/o Mr. Stanley Pikul, Building Official
Attention: Mr. Christopher Buonanno, Chair
869 Park Avenue
Cranston, Rhode Island 02910
spikul@cranstonri.gov

***Re: Application to the City of Cranston Zoning Board of Review by Colbea Enterprises, L.L.C.
for its Property Located at 0 and 2050 Plainfield Pike, Cranston Rhode Island 02921***

Dear Chair and Members of the Zoning Board of Review:

This office represents Colbea Enterprises, L.L.C. ("Colbea"), the owner of the real property located at 0 and 2050 Plainfield Pike, Cranston, Rhode Island 02921, further identified as Assessor's Plat 36/2, Lots 116 and 117 (the "Premises"). Colbea recently acquired the Premises and desires to raze the existing structures and construct a Seasons Corner Market Convenience Store with co-brand coffee shop and drive-through, gasoline fueling stations, a canopy and electric vehicle charging stations. In connection with Colbea's redevelopment of the Premises, enclosed please find the following:

1. Nine (9) (8.5" x 11") copies of Colbea's Application for Zoning Board of Review and the associated Project Narrative (collectively, the "Application");
2. Nine (9) (11" x 17") sets of the Zoning Board of Review Submission Set, including Aerial & USGS Map, Existing Conditions Plan, Soil Erosion & Sediment Control Plan, Site Layout Plan, Grading & Surface Drainage Plan, Utilities & Drainage Plan, DMP Detail Sheet, Landscape Plan, Photometric Plan, Basement & Main Level Floor Plans, Building Elevations Plans and Truck Turn Plan;
3. One (1) (24" x 36") set of the Zoning Board of Review Submission Set, including Aerial & USGS Map, Existing Conditions Plan, Soil Erosion & Sediment Control Plan, Site Layout Plan, Grading & Surface Drainage Plan, Utilities & Drainage Plan, DMP Detail Sheet, Landscape Plan, Photometric Plan, Basement & Main Level Floor Plans, Building Elevations Plans and Truck Turn Plan;
4. Nine (9) (11" x 17") sets of Floor Plans and Elevations;
5. One (1) (24" x 36") set of Floor Plans and Elevations;
6. Nine (9) (11" x 17") copies of 400' radius maps drawn to the scale of 1" = 100', including labels of all lot numbers and buildings within the radius;

Zoning Board of Review
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Attention: Mr. Christopher Buonanno, Chair
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7. Nine (9) (8.5" x 11") copies of a list of names and addresses of property owners that appear within the 400' radius (the "Abutters List") including the names and addresses of the owner, applicant and attorney;
8. Three (3) (8.5" x 11") color photographs taken of the Premises taken at various angles;
9. One (1) (11" x 17") Impervious Calculations Map;
10. One (1) (11" x 17") Plainfield Pike Improvement Plan Set;
11. Two (2) sets of stick-on mailing labels with names and addresses of the property owners from the Abutters List including the names and addresses of the applicant and attorney; and
12. A check made payable to the "City of Cranston" in the amount of \$550.00, which represents the filing fee for the Application.

In accordance with the requirements of the Zoning Board of Review application submission process, an electronic copy of the Application and all supporting documentation has been emailed to Mr. Stanley Pikul.

Colbea respectfully requests that this matter be scheduled for hearing at the Zoning Board of Review's February 8, 2023 meeting.

Please feel free to contact me via email or by phone at 401-427-6126 if you have any questions or require any additional information.

Best regards,



DANIELLE E. DUFAULT
ddufault@apslaw.com

Enclosures

cc: Michael Gazdacko, Colbea Enterprises, L.L.C., Director of Construction *(via email only)*
Sheryl Guglielmo, DiPrete Engineering Inc., Senior Project Manager *(via email only)*
John D. Russell, Esquire *(via email only)*
David M. Webster, Esquire *(via email only)*

City of Cranston
Zoning Board of Review
Application

Application for exception or variation under the zoning ordinance “City of Cranston Zoning Code, December 1994 Edition as amended.”

To: Cranston Zoning Board of Review
35 Sockanosset Crossroad Suite 6
Cranston, RI 02920

Date: January 11, 2023

THE UNDERSIGNED HEREBY APPLIES TO THE ZONING BOARD OF REVIEW FOR AN EXCEPTION OR A VARIATION IN THE APPLICATION OF THE PROVISIONS OR REGULATIONS OF THE ZONING ORDINANCE AFFECTING THE FOLLOWING DESCRIBED PREMISES IN THE MANNER AND ON THE GROUNDS HEREINAFTER SET FORTH.

OWNER: Colbea Enterprises, L.L.C.

ADDRESS: 695 George Washington Highway, Lincoln, RI ZIP CODE: 02865

APPLICANT: Same as Owner

ADDRESS: Same as Owner ZIP CODE:

LESSEE: N/A

ADDRESS: N/A ZIP CODE:

1. ADDRESS OF PROPERTY: 2050 Plainfield Pike, Cranston, RI 02921

2. ASSESSOR’S PLAT #: 36 BLOCK #: ASSESSOR’S LOT #: 116 & 117 WARD: 4

3. LOT FRONTAGE: 190 ft LOT DEPTH: 308.3 ft LOT AREA: 74,872 sf

4. ZONING DISTRICT IN WHICH PROPERTY IS LOCATED: C-5
(ZONE) (AREA LIMITATION) (HEIGHT LIMITATION)

5. BUILDING HEIGHT, PRESENT: 16 ft PROPOSED: 36 ft 2 1/2 in

6. LOT COVERAGE, PRESENT: 19.7% PROPOSED: 11.8%

7. HOW LONG HAVE YOU OWNED THE ABOVE PREMISES? Since May 2022

8. ARE THERE ANY BUILDINGS ON THE PREMISES AT PRESENT? Yes

9. GIVE SIZE OF EXISTING BUILDING(S): 14,748 sf

10. GIVE SIZE OF PROPOSED BUILDING(S): 5,000 sf

11. WHAT IS THE PRESENT USE? Auto repair shop and office building.

12. WHAT IS THE PROPOSED USE? Gasoline filling station with convenience store inclusive of a coffee shop/cafe and drive-through.

13. NUMBER OF FAMILIES FOR WHICH BUILDING IS TO BE ARRANGED: N/A

14. DESCRIBE IN DETAIL THE EXTENT OF PROPOSED ALTERATIONS: See Project Narrative.

15. HAVE YOU SUBMITTED PLANS TO THE BUILDING OFFICIAL? Yes

16. WERE YOU REFUSED A PERMIT? No

17. PROVISION OR REGULATION OF THE ZONING ORDINANCE OR STATE ENABLING ACT UNDER WHICH APPLICATION FOR EXCEPTION OR VARIANCE IS MADE.

See Project Narrative.

18. STATE GROUNDS FOR EXCEPTION OR VARIANCE IN THIS CASE: See Project Narrative.

SIGNATURE OF APPELLANT(S) AND ATTORNEY (IF APPLICABLE) IS REQUIRED AND MUST BE LEGIBLE.

RESPECTFULLY SUBMITTED,

(OWNER SIGNATURE)

323-828-3263
(PHONE NUMBER)

(OWNER SIGNATURE)

(PHONE NUMBER)

(APPLICANT SIGNATURE)

323-828-3263
(PHONE NUMBER)

N/A

N/A

(LESSEE SIGNATURE)

(PHONE NUMBER)

(ATTORNEY SIGNATURE)

401-427-6126
(PHONE NUMBER)

Danielle E. Dufault, Esq.

(ATTORNEY NAME-PLEASE PRINT)

ATTORNEY ADDRESS: 49 Bellevue Avenue, Newport, Rhode Island 02840

PRE-ZONING APPLICATION MEETING:

(PLANNING DEPT. SIGNATURE)

(DATE)

PROJECT NARRATIVE

RELATED TO COLBEA ENTERPRISES, L.L.C.'s

APPLICATION TO THE ZONING BOARD OF REVIEW

Colbea Enterprises, L.L.C.

**0 and 2050 Plainfield Pike
Cranston, Rhode Island 02921**

Assessor's Plat 36/2, Lot 116 & 117

Zoning District: Commercial C-5

I. Present Use of the Premises

Colbea Enterprises, L.L.C. ("Applicant/Owner") is the owner of the recently vacated +/- 14,748 sf auto body repair shop and office space located at 2050 Plainfield Pike, commonly known as Assessor's Plat 36/2, Lot 117 (the "Plainfield Pike Parcel") and that certain parking lot with an address of 0 Plainfield Pike, commonly known as Assessor's Plat 36/2, Lot 116 (the "Adjacent Parcel," and together with the Plainfield Pike Parcel, referred to herein collectively as the "Premises"), situated in the Commercial C-5 ("C-5") zoning district, as defined in the City of Cranston, Rhode Island Code of Ordinances (the "Ordinances").

II. Proposed Use of the Premises; Extent of Proposed Alterations & Relevant Permitting History

As further depicted on those certain site plans entitled "Zoning Board of Review Submission–Seasons Corner Market – 2050 Plainfield Pike, Cranston, Rhode Island 02921, Assessor's Plat 36, Lots 116 & 117" prepared by DiPrete Engineering ("DiPrete") and dated December 6, 2022 (the "Plans"), Applicant/Owner proposes to raze the existing auto body repair shop and office building, and construct a new 5,000 sf convenience store with co-brand coffee shop and drive-through, a high-speed diesel pump station, five (5) gasoline dispensers with ten (10) vehicle fueling positions, a canopy and two (2) electric vehicle charging stations. The proposed uses for the Premises as a fuel station full service, convenience store and a drive-in restaurant are permitted by right in accordance with Chapter 17.20.030 of the Ordinances. Applicant/Owner submits the instant Zoning Board of Review Application (the "Application") pursuant to Chapter 17.92.010 of the Ordinances, as Applicant/Owner is seeking certain variances from the City of Cranston Zoning Board of Review (the "Board") as part of its redevelopment of the Premises.

As of the date of Applicant/Owner's submission of this Application to the Board, Applicant/Owner has sought and received: (i) the approval by the City Council pursuant to Chapter 8.01.050 of the Ordinances as required by the presence of a historic cemetery adjacent to the Premises; and (ii) the unanimous recommendation with conditions of the Development Plan Review Committee for the proposed redevelopment as set forth on the Plans.

III. Relief Requested by Applicant/Owner

1. Variance for Driveway Width

Pursuant to Chapter 17.48.010-(D)(4), the maximum width of all driveways at the sidewalk shall be thirty (30) feet. Applicant/Owner requests that the driveway located on the northerly boundary line of the Plainfield Pike Parcel, which provides access from Plainfield Pike to the Plainfield Pike Parcel be forty-five (45) feet wide.

2. Variance for Driveway to Property Line Separation

Pursuant to Chapter 17.48.010(D)(6), “the distance of any driveway from any property line shall be at least twenty (20) feet.” Applicant/Owner requests that the driveway providing access to the Plainfield Pike Parcel from Plainfield Pike be located approximately five (5) feet from the westerly property line of the Plainfield Pike Parcel.

3. Variance for Landscape Buffer

Pursuant to Chapter 17.84.140(C)(6)(a), all developments shall provide a year-round landscape buffer that is a minimum of eight (8) feet in height, consisting of fencing, vegetation, berms, rocks, boulders, mounds or combinations thereof. Further, Chapter 17.84.140(C)(6)(b) requires that a “minimum ten (10) feet wide landscaped strip shall be provided along property lines parallel to a street where parking or circulation areas abuts said street.” Applicant/Owner requests a variance from the landscaping requirements of Chapter 17.84.140(c)(6) as they pertain to the northerly property line of the Premises.

4. Variance for Freestanding Sign – Distance from Property Line

Pursuant to Table 17.72.010(6), freestanding signs in the C-5 zoning district shall be located five (5) feet from any property line. Applicant/Owner requests that its proposed freestanding “I.D. Sign” sign, as depicted on the Plans, be located less than five (5) feet from the northerly boundary line of the Plainfield Pike Parcel.

5. Variance for Freestanding Sign – Total Area

Pursuant to Table 17.72.010(6) the total area of any freestanding sign shall not exceed fifty (50) square feet. Applicant/Owner’s proposed double-faced “I.D. Sign” on the Plainfield Pike Parcel has a total area of 267.4 square feet. Accordingly, Applicant/Owner requests relief as to 217.4 square feet.

6. Variance for Freestanding Sign – Height

Pursuant to Table 17.72.010(6), the maximum height of any freestanding sign shall not exceed fifteen (15) feet. Applicant/Owner’s proposed double-faced “I.D. Sign” on the

Plainfield Pike Parcel has a height of 26.25 feet. Accordingly, Applicant/Owner requests relief as to 11.25 feet.

7. Variance for Monument Sign – Height

Pursuant to Table 17.72.010(6), the maximum height of any monument sign shall not exceed four (4) feet. Applicant/Owner’s proposed “Menu Board” sign on the Plainfield Pike Parcel, which is to display the menu items of the co-brand coffee shop, has a height of approximately 7.33 feet. Accordingly, Applicant/Owner requests relief as to 3.33 feet.

8. Variance for Wall Sign – Total Area

Pursuant to Table 17.72.010(6), the total area of any wall sign shall not exceed thirty (30) square feet. Applicant/Owner’s proposed “Seasons” sign, which is to be situated on the front of the building on the Plainfield Pike Parcel, has a total area of 85 square feet. Accordingly, Applicant/Owner requests relief as to 55 square feet.

9. Variance for Total Signage Area

Pursuant to Table 17.72.010(6), the total sign area shall not exceed the lesser of the following: three hundred (300) square feet or twenty (20) percent of the total street-facing façade wall area. Twenty (20) percent of the total street facing façade wall area is +/- 420 square feet. Therefore, the total sign area shall not exceed three hundred (300) square feet. Applicant/Owner’s proposed total sign area on the Plainfield Pike Parcel is 515.6 square feet. Accordingly, Applicant/Owner requests relief as to 215.6 square feet.

IV. Applicant/Owner’s Required State Permits and Approvals

Applicant/Owner has applied for all required permits and approvals for the development of the Premises. All permits that are pending are in final form and are subject to final approval.

Applicant/Owner attended a pre-application meeting with staff of the Rhode Island Department of Environmental Management (“RIDEM”) in May 2022, at which RIDEM reviewed Applicant/Owner’s proposed redevelopment and provided comments and suggested revisions related to the same. Such revisions have been incorporated in the project’s engineering designs and the Plans. Further, in accordance with Chapter 15.28.020 of the Ordinances, Applicant/Owner has submitted an erosion and sedimentation control plan with the Application. Applicant/Owner submitted an application for a Freshwater Wetlands Permit to RIDEM on June 29, 2022 (the “Wetland Permit Application”), which is currently under review (RIDEM permit application #22-0409). On November 22, 2022, DiPrete received certain technical review comments to Applicant/Owner’s Wetland Permit Application from RIDEM, however, such comments do not create any significant impact or alteration to the redevelopment or the Plans.

Applicant/Owner is in the process of obtaining a Water Quality Certification/Stormwater Construction Permit (RIDEM permit number #22-170) and is currently under review by RIDEM.

Applicant/Owner is working with and has submitted the necessary application to the Rhode Island Department of Transportation (“RIDOT”). Applicant/Owner is also working with RIDOT to modify the median in the Plainfield Pike ROW to allow west-bound vehicles to make left-turns onto the property. Applicant/Owner submitted an application for a Physical Alteration Permit for these modifications to RIDOT on November 4, 2022, which is currently under review (RIDOT application number #22-138). On January 5, 2023, DiPrete received technical review comments to Applicant/Owner’s Physical Alteration Permit Application from RIDOT. Such comments do not create any significant impact or alteration to the proposed redevelopment of the Premises or the Plans.

Certain portions of the Premises are adjacent to Fenner-Lawton (Cranston Historical Cemetery CR018) and Charles Bennett (Cranston Historical Cemetery CR064) burial lots (collectively, the Burial Lots). In connection with its development of the Premises, Applicant/Owner has since met with and received a No-Impact Letter from State of Rhode Island Historic Preservation & Heritage Commission, in an effort to ensure no adverse effects to the burial grounds. Applicant/Owner was also granted by unanimous approval from the City of Cranston Public Works Committee, a Permit for Alteration near Historic Cemetery on December 19, 2022.

In connection with the redevelopment of the Premises, and as a preliminary requirement for this application, Applicant/Owner received a unanimous recommendation from the City of Cranston Development Plan Review on December 21, 2022.

V. Standards for Variances

Applicant/Owner contends that the zoning variances requested meet the standards set forth in the Ordinances, Chapter 17.92.010. Specifically:

1. That the hardship from which the applicant seeks relief is due to the unique characteristics of the subject land or structure and is not to the general characteristics of the surrounding area; and is not due to a physical or economic disability of the applicant;
2. That the hardship is not the result of any prior action of the applicant and does not result primarily from the desire of the applicant to realize greater financial gain;
3. That the granting of the requested variance will not alter the general character of the surrounding area or impair the intent or purpose of the zoning ordinance codified in this title or the comprehensive plan upon which the ordinance is based;
4. That the relief to be granted is the least relief necessary; and
5. In granting a dimensional variance, that the hardship that will be suffered by the owner of the subject property if the dimensional variance is not granted shall amount to more

than a mere inconvenience, which shall mean that there is no other reasonable alternative to enjoy a legally permitted beneficial use of one's property. The fact that a use may be more valuable after the relief is granted shall not be grounds for relief.

First, the hardship from which Applicant/Owner seeks relief is due to the unique characteristics of the subject land and not to the general characteristics of the surrounding area and not due to a physical or economic disability of Applicant/Owner. The unique characteristics of the land being that the Premises is located near Interstate 295 onramp and offramp intersections and the Burial Lots are situated in between the Plainfield Pike Parcel and the Adjacent Parcel. The Burial Lots occupy a significant portion of the frontage of the Premises, frustrating the ability of the Premises to comply with the landscaping frontage requirements. It is necessary for the existing driveway on the northerly boundary line of the Plainfield Pike Parcel, connecting to Plainfield Pike to be less than twenty (20) feet from the westerly boundary line in order to alleviate disturbance to turning lane traffic to Interstate 295 South and to avoid disturbance of the Burial Lots.

Second, the hardship is not the result of any prior action of Applicant/Owner and does not result primarily from the desire of Applicant/Owner to realize greater financial gain but rather Applicant/Owner seeks to build a more modern, attractive building and gas pumps that will provide City residents and those traveling to the City access to an updated gas station with modern amenities and electric vehicle charging. The proposed use enhances the property values in the surrounding area and adds value to the City. Applicant/Owner seeks to construct new facilities and provide a better (and safer) layout for the surrounding area as well as the convenience store and gasoline filling station which will facilitate better traffic flow for vehicles and pedestrians. Accordingly, the request is not primarily from Applicant/Owner's desire to realize greater financial gain.

Third, the granting of the requested variances will not alter the general character of the surrounding area or impair the intent or purpose of the Ordinances or the Comprehensive Plan¹, as amended, in that the Premises is surrounded by other commercial properties and there are existing gas station/convenience stores in the immediate area, which have operated in these locations for many years. The use as a full-service gas station is allowed by right in the C-5 Zoning District in which the Premises is situated. Additionally, Applicant/Owner intends to increase the green space at the Premises by including a robust landscaping plan and a smaller more attractive building as depicted on the Plans. Such improvements will also add an aesthetic benefit to the Premises and surrounding properties.

Further, Applicant/Owner's proposed project will provide opportunities to the Western Cranston community and the City at-large by providing certain support services to the Western Cranston community, including the ability to purchase food stuffs, supplies and gasoline, electric vehicle charging stations, and fifteen (15) to thirty (30) additional employment opportunities as well. The redevelopment of the Premises will enhance the character and quality of the surrounding

¹ Goals of the Comprehensive Plan: 1. Preserve and increase employment opportunities 2. Import capital and expand Cranston's economic base 3. Expand the industrial and commercial tax base. 4. Industrial and commercial revitalization

community by providing a full-service convenience store, drive-in restaurant, new gas pumps and electric vehicle charging so close to Interstate 295 and Plainfield Pike.

Fourth, the relief requested is the least amount of relief necessary to assist Applicant/Owner in its full use and enjoyment of the Premises, in that the relief requested is limited to the driveways, signage and landscape frontage requirements. As previously mentioned, the requested increased driveway width will allow vehicles to enter and exit the Plainfield Pike Parcel in a more efficient fashion while limiting the congestion in close proximity to the Interstate 295 South onramp and accompanying intersection. The signage relief is to allow for the signage to be substantially similar to those of similar convenience store/gas stations owned by Applicant/Owner and to allow them to be clearly visible from the roads. Finally, the location of the double-faced “I.D. Sign” must be within 25 feet of the property line to serve its purpose, as there is limited frontage on the Plainfield Pike Parcel due to the location of the Burial Lots and to prevent disturbance of the same. While Applicant/Owner seeks variances from the aforementioned requirements, the subject property will conform to the required lot size, side yard, rear yard, parking, and zoning use requirements.

Finally, the hardship suffered by the Applicant/Owner if the dimensional variances are not granted shall amount to more than a mere inconvenience in that Applicant/Owner desires to transition from the current use of the Premises to the proposed use as a fuel station full service, convenience store and a drive-in restaurant. This transition requires significant changes to the layout of the Premises. Should the requested dimensional variances not be approved, Applicant/Owner would be required to propose a new use for the Premises, suffering significant hardship.

ZONING BOARD OF REVIEW SUBMISSION

SEASONS CORNER MARKET

2050 PLAINFIELD PIKE
CRANSTON, RI 02921

ASSESSOR'S PLAT 36, LOTS 116 & 117



SHEET INDEX

- 1 COVER SHEET
- 2 AERIAL & USGS MAP
- 3 GENERAL NOTES & LEGEND
- 4 EXISTING CONDITIONS PLAN
- 5 SOIL EROSION & SEDIMENT CONTROL PLAN
- 6 SITE LAYOUT PLAN
- 7 GRADING & SURFACE DRAINAGE PLAN
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- 9 BMP DETAIL SHEET
- 10 DETAIL SHEET - 1
- 11 DETAIL SHEET - 2
- 12 DETAIL SHEET - 3
- 13 DETAIL SHEET - 4
- 14 LANDSCAPE PLAN
- 15 LANDSCAPE NOTES & DETAILS
- (1 OF 1) SIGNAGE PLAN & ELEVATIONS

PLANS BY OTHERS

- (1 OF 1) PHOTOMETRIC PLAN (BY LSI)
- A100 BASEMENT FLOOR PLAN
- A101 MAIN LEVEL FLOOR PLAN
- A1 BUILDING ELEVATIONS - FRONT
- A2 BUILDING ELEVATIONS - SIDES
- A3 BUILDING ELEVATIONS - REAR

EXHIBITS

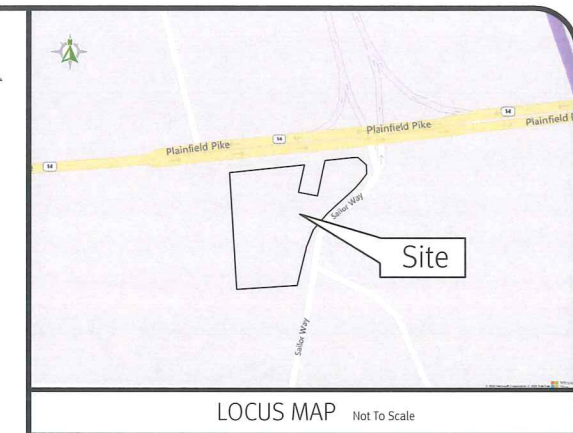
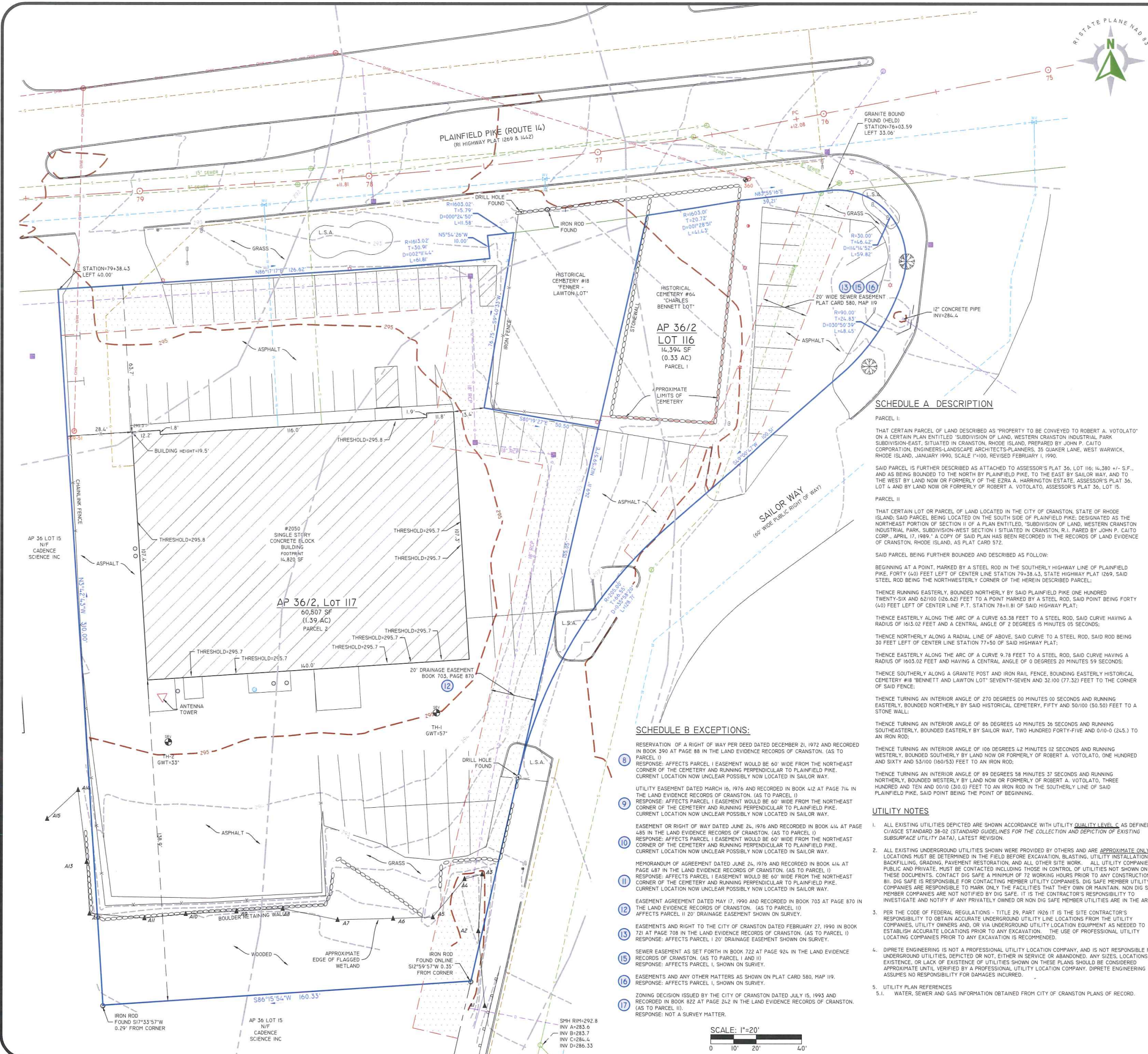
- (1 OF 2) TRUCK TURN PLAN WB-67 - 1
- (2 OF 2) TRUCK TURN PLAN WB-50 - 2

SESC / O&M

THE SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC) AND STORMWATER OPERATION AND MAINTENANCE PLAN (O&M) ARE REQUIRED DOCUMENTS WITH THIS PLAN SET AND MUST BE MAINTAINED BY THE CONTRACTOR AND OWNER ON SITE.

RIDOT

THE PROPOSED IMPROVEMENTS WILL NOT INCREASE THE RATE OF STORMWATER RUNOFF ONTO THE STATE HIGHWAY. ALL WORK WITHIN THE STATE RIGHT OF WAY MUST CONFORM TO THE RI STANDARD SPECIFICATIONS, DETAILS, AND ADDENDUMS.



LEGEND	
--- 4 ---	WATER LINE
--- 3 ---	SEWER LINE
--- 2 ---	SEWER FORCE MAIN
--- 1 ---	ELECTRIC LINE
--- 0 ---	OVERHEAD WIRES
--- (CA) ---	CHORD ANGLE
--- 1 ---	MINOR CONTOUR LINE
--- 2 ---	MAJOR CONTOUR LINE
---	PROPERTY LINE
---	ASSESSOR'S LINE
---	TREELINE
---	GUARDRAIL
---	FENCE
---	RETAINING WALL
---	STONE WALL
---	DEED BOOK/PAGE
---	ASSESSOR'S PLAT
---	NOW OR FORMERLY
---	LANDSCAPING
---	RECORD
---	IRON ROD/PIPE
---	BOUND
---	SIGN POST
---	SEWER MANHOLE
---	SEWER CLEANOUT
---	HYDRANT
---	IRRIGATION VALVE
---	UNKNOWN MANHOLE
---	BOLLARD
---	SOIL EVALUATION
---	CATCH BASIN
---	DOUBLE CATCH BASIN
---	WATER VALVE
---	GAS VALVE
---	WETLAND FLAG
---	DRAINAGE MANHOLE
---	FLARED END SECTION
---	GUY POLE
---	ELECTRIC MANHOLE
---	UTILITY/POWER POLE
---	LIGHTPOST
---	WELL
---	MONITORING WELL
---	BENCH MARK
---	TREE

- GENERAL NOTES**
- THE PARCEL IS FOUND ON ASSESSOR'S PLAT 36/2, LOTS 116 & 117 IN THE CITY OF CRANSTON, PROVIDENCE COUNTY, RHODE ISLAND.
 - THE OWNER PER DEED BOOK 6482, PAGE 239 IS COLBEA ENTERPRISES, LLC.
 - THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. REFERENCE FEMA FLOOD INSURANCE RATE MAP 44007C029H, MAP REVISED OCTOBER 2, 2015. THIS DESIGNATION MAY CHANGE BASED UPON REVIEW BY A FLOOD ZONE SPECIALIST OR BY THE RESULTS OF A COMPREHENSIVE FLOOD STUDY.
 - THE PARCEL IS ZONED C5 BASED ON CITY OF CRANSTON GIS DATABASE. ANY OVERLAY DISTRICTS, SPECIAL PERMITS OR VARIANCES SPECIFIC TO THIS SITE ARE NOT TAKEN INTO CONSIDERATION. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
 - THERE WERE CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
 - FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON JANUARY 26, 2022. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
 - ELEVATIONS SHOWN HEREON, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DETERMINED BY DIPRETE ENGINEERING USING REAL TIME KINEMATIC G.P.S. OBSERVATIONS.
 - PLEASE REFER TO RHODE ISLAND GENERAL LAW § 23-23-18-II FOR BUILDING REQUIREMENTS AROUND A HISTORIC CEMETERY.
 - DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR AN ARCHAEOLOGICAL INVESTIGATION NEEDED TO TO DETERMINE THE BOUNDARIES OF THE UNMARKED CEMETERY AS REQUIRED BY RHODE ISLAND GENERAL LAW § 23-23-18-II SUBSECTION 2C.

- PLAN REFERENCES:**
- 'SUBDIVISION OF LAND, WESTERN CRANSTON INDUSTRIAL PARK SUBDIVISION-EAST, SITUATED IN CRANSTON, RHODE ISLAND, PREPARED BY JOHN P. CAITO CORPORATION, ENGINEERS-LANDSCAPE ARCHITECTS-PLANNERS, 35 QUAKER LANE, WEST WARWICK, RHODE ISLAND, JANUARY 1990, SCALE 1"=100, REVISED FEBRUARY 1, 1990.
 - 'SUBDIVISION OF LAND, WESTERN CRANSTON INDUSTRIAL PARK, SUBDIVISION-WEST SECTION I SITUATED IN CRANSTON, R.I. PARED BY JOHN P. CAITO CORP., APRIL 17, 1989. A COPY OF SAID PLAN HAS BEEN RECORDED IN THE RECORDS OF LAND EVIDENCE OF CRANSTON, RHODE ISLAND, AS PLAT CARD 572.
 - RHODE ISLAND HIGHWAY PLAT 1269.
 - 'PHASING PLAN SUBDIVISION OF LAND WESTERN CRANSTON INDUSTRIAL PARK SUBDIVISION - EAST SITUATED IN CRANSTON, RHODE ISLAND PREPARED BY JOHN P. CAITO CORPORATION OCTOBER, 2001, SCALE 1"=100" RECORDED IN CITY OF CRANSTON LAND EVIDENCE RECORDS ON PLAT CARD 670, MAP 377.
 - 'PLAN OF LAND OWNED BY D S D ENTERPRISES 2050 PLAINFIELD PIKE, CRANSTON RI 02921 AP 36/2 - LOTS 117 & 116" SCALE 1"=60', BY EXPRESS SURVEYING, REVISED SEPTEMBER 28, 2010.

- ALTA/NSPS LAND TITLE SURVEY NOTES**
- THE ADDRESS OF PARCEL IS 2050 PLAINFIELD PIKE, CRANSTON, RI 02921.
 - THERE WERE 60 REGULAR PARKING SPACES AND 1 HANDICAPPED PARKING SPACES, FOR A TOTAL OF 61 SPACES OBSERVED AT THE TIME OF THE FIELD SURVEY.
 - THE PARCEL HAS DIRECT ACCESS TO PLAINFIELD PIKE AND SAILOR WAY, BOTH A PUBLIC RIGHT OF WAY.
 - THERE WAS NO OBSERVED EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION AT THE TIME OF THE FIELD SURVEY.
 - RIGHT OF WAY LINES ADJACENT TO SUBJECT PARCEL ARE AS SHOWN.
 - THERE WAS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED AT THE TIME OF THE FIELD SURVEY.
 - SURVEY BASED ON TITLE COMMITMENT #210000643 / #1010746, EFFECTIVE DATE DECEMBER 23, 2021 AT 8:00 AM BY COMMONWEALTH LAND TITLE INSURANCE COMPANY.

SURVEYOR'S CERTIFICATE

TO: COLBEA ENTERPRISES, L.L.C., A DELAWARE LIMITED LIABILITY COMPANY, COMMONWEALTH LAND TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 6(A), 7(A), 7(B)(1), 7(C), 8, 9, 13, 14, 16, & 17 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED BETWEEN JANUARY 25-26, 2022, DATE OF PLAT OR MAP: FEBRUARY 16, 2022.

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

- COMPREHENSIVE BOUNDARY SURVEY
- DATA ACCUMULATION SURVEY
- TOPOGRAPHIC SURVEY
- CLASS I
- CLASS III
- CLASS T-2

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: ALTA AND FOR THE

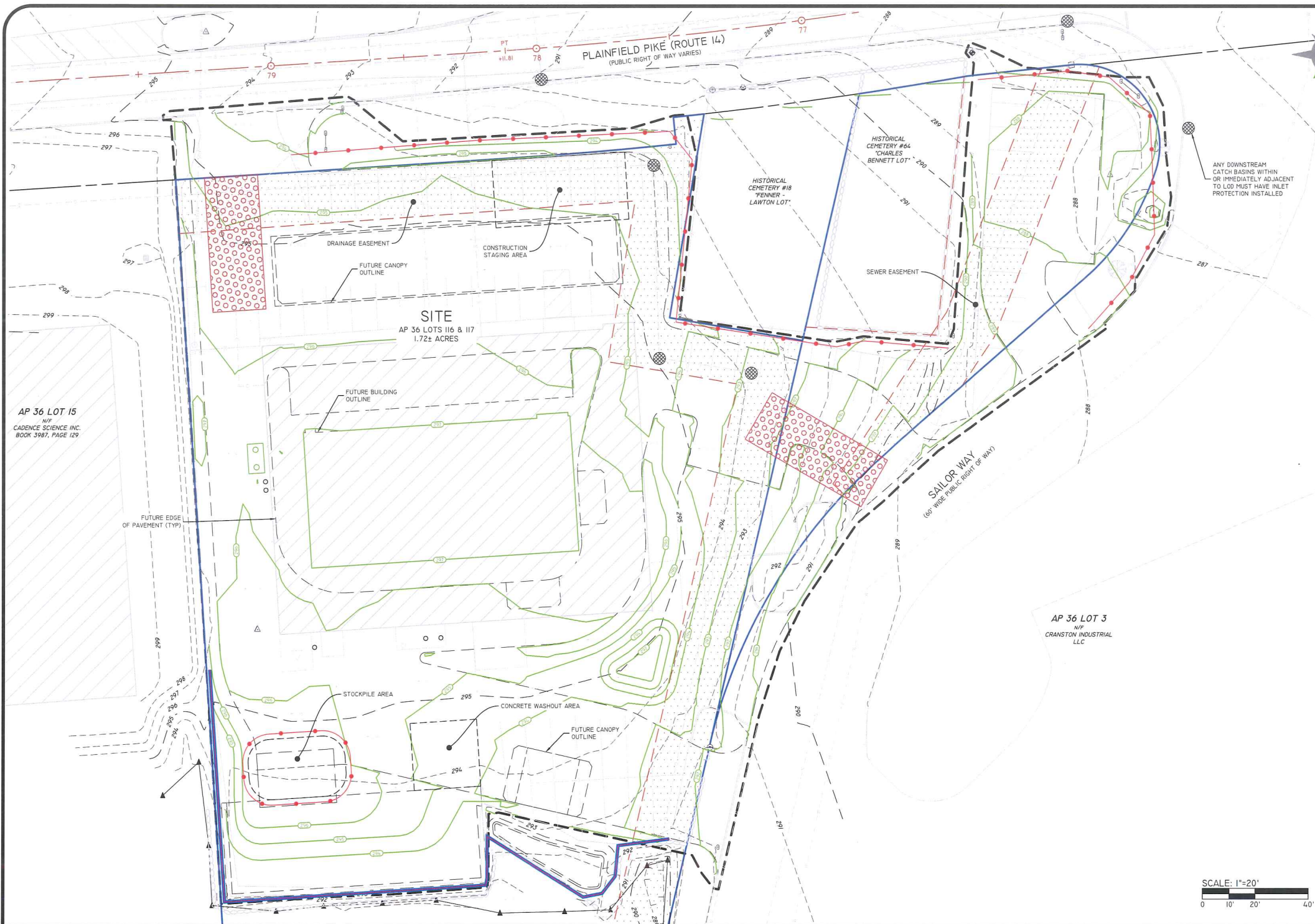
ROBERT G. BABCOCK
No. 2504
PROFESSIONAL LAND SURVEYOR

7/19/22
ROBERT G. BABCOCK, RIPLS #2504, C.A. #LS.000A160

SCHEDULE B EXCEPTIONS:

- RESERVATION OF A RIGHT OF WAY PER DEED DATED DECEMBER 21, 1972 AND RECORDED IN BOOK 590 AT PAGE 88 IN THE LAND EVIDENCE RECORDS OF CRANSTON. (AS TO PARCEL I) RESPONSE: AFFECTS PARCEL I EASEMENT WOULD BE 60' WIDE FROM THE NORTHEAST CORNER OF THE CEMETERY AND RUNNING PERPENDICULAR TO PLAINFIELD PIKE. CURRENT LOCATION NOW UNCLEAR POSSIBLY NOW LOCATED IN SAILOR WAY.
- UTILITY EASEMENT DATED MARCH 16, 1976 AND RECORDED IN BOOK 412 AT PAGE 714 IN THE LAND EVIDENCE RECORDS OF CRANSTON. (AS TO PARCEL I) RESPONSE: AFFECTS PARCEL I EASEMENT WOULD BE 60' WIDE FROM THE NORTHEAST CORNER OF THE CEMETERY AND RUNNING PERPENDICULAR TO PLAINFIELD PIKE. CURRENT LOCATION NOW UNCLEAR POSSIBLY NOW LOCATED IN SAILOR WAY.
- EASEMENT OR RIGHT OF WAY DATED JUNE 24, 1976 AND RECORDED IN BOOK 414 AT PAGE 485 IN THE LAND EVIDENCE RECORDS OF CRANSTON. (AS TO PARCEL I) RESPONSE: AFFECTS PARCEL I EASEMENT WOULD BE 60' WIDE FROM THE NORTHEAST CORNER OF THE CEMETERY AND RUNNING PERPENDICULAR TO PLAINFIELD PIKE. CURRENT LOCATION NOW UNCLEAR POSSIBLY NOW LOCATED IN SAILOR WAY.
- MEMORANDUM OF AGREEMENT DATED JUNE 24, 1976 AND RECORDED IN BOOK 414 AT PAGE 487 IN THE LAND EVIDENCE RECORDS OF CRANSTON. (AS TO PARCEL I) RESPONSE: AFFECTS PARCEL I EASEMENT WOULD BE 60' WIDE FROM THE NORTHEAST CORNER OF THE CEMETERY AND RUNNING PERPENDICULAR TO PLAINFIELD PIKE. CURRENT LOCATION NOW UNCLEAR POSSIBLY NOW LOCATED IN SAILOR WAY.
- EASEMENT AGREEMENT DATED MAY 17, 1990 AND RECORDED IN BOOK 703 AT PAGE 870 IN THE LAND EVIDENCE RECORDS OF CRANSTON. (AS TO PARCEL II) AFFECTS PARCEL II 20' DRAINAGE EASEMENT SHOWN ON SURVEY.
- EASEMENTS AND RIGHT TO THE CITY OF CRANSTON DATED FEBRUARY 27, 1990 IN BOOK 721 AT PAGE 708 IN THE LAND EVIDENCE RECORDS OF CRANSTON. (AS TO PARCEL I) RESPONSE: AFFECTS PARCEL I 20' DRAINAGE EASEMENT SHOWN ON SURVEY.
- SEWER EASEMENT AS SET FORTH IN BOOK 722 AT PAGE 924 IN THE LAND EVIDENCE RECORDS OF CRANSTON. (AS TO PARCEL I AND II) RESPONSE: AFFECTS PARCEL I, SHOWN ON SURVEY.
- EASEMENTS AND ANY OTHER MATTERS AS SHOWN ON PLAT CARD 580, MAP 119. RESPONSE: AFFECTS PARCEL I, SHOWN ON SURVEY.
- ZONING DECISION ISSUED BY THE CITY OF CRANSTON DATED JULY 15, 1993 AND RECORDED IN BOOK 822 AT PAGE 242 IN THE LAND EVIDENCE RECORDS OF CRANSTON. (AS TO PARCEL II). RESPONSE: NOT A SURVEY MATTER.

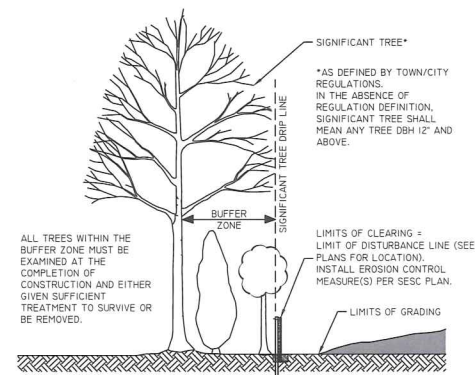
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0 10' 20' 40'



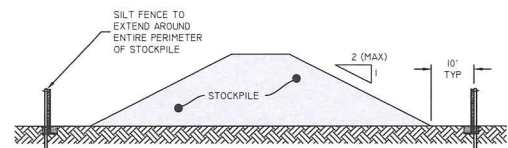
SOIL EROSION CONTROL LEGEND

- EROSION CONTROL (COMPOST SOCK, SILT FENCE (RI STD 9.2.0, OR APPROVED EQUAL))
- LIMIT OF DISTURBANCE (NO SEDIMENT CONTROL)
- LIMIT OF DISTURBANCE (WITH SEDIMENT CONTROL)
- CONSTRUCTION ENTRANCE (RI STD 9.9.0)
- FINAL CONTOUR GRADE
- INLET SEDIMENT CONTROL CLASS C SILT FENCE

ANY DOWNSTREAM CATCH BASINS WITHIN OR IMMEDIATELY ADJACENT TO LOD MUST HAVE INLET PROTECTION INSTALLED

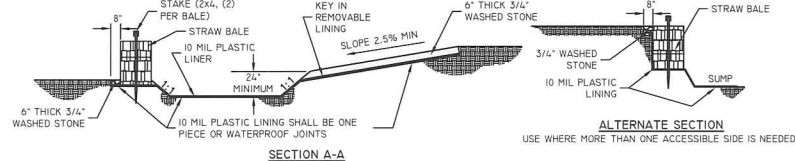
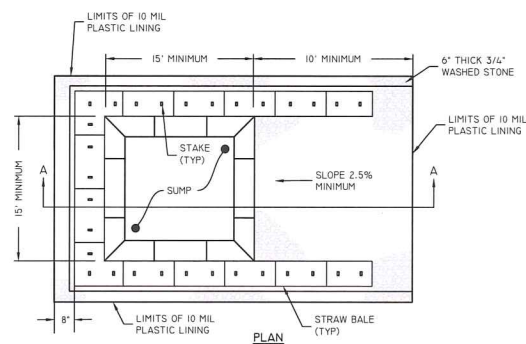


LIMIT OF DISTURBANCE AT VEGETATION



- NOTES:
- ALL STOCKPILES MUST BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH SECTION 3 'STOCKPILE AND STAGING AREA MANAGEMENT' OF THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK (CURRENT EDITION).
 - DIVERT ALL STORMWATER AWAY FROM STOCKPILES.
 - SOIL STOCKPILES THAT ARE NOT TO BE USED WITHIN 30 DAYS MUST BE SEED AND MULCHED IMMEDIATELY AFTER FORMATION OF THE STOCKPILE WITH SEED MIX COMPATIBLE WITH THE SOIL TYPE.
 - STOCKPILE AND SILT FENCE MUST BE INSPECTED AT LEAST ONCE PER WEEK AND AFTER RAIN EVENTS IN EXCESS OF 1/2" OF RAINFALL. REPAIR/ REPLACE SILT FENCE (AND STOCKPILE COVERS WHERE APPLICABLE) AS NEEDED TO KEEP THEM FUNCTIONING ADEQUATELY.
 - SEDIMENT TRAPPED BY SILT FENCES MUST BE REMOVED AND PROPERLY DISPOSED OF WHENEVER SIGNIFICANT ACCUMULATION OCCURS.

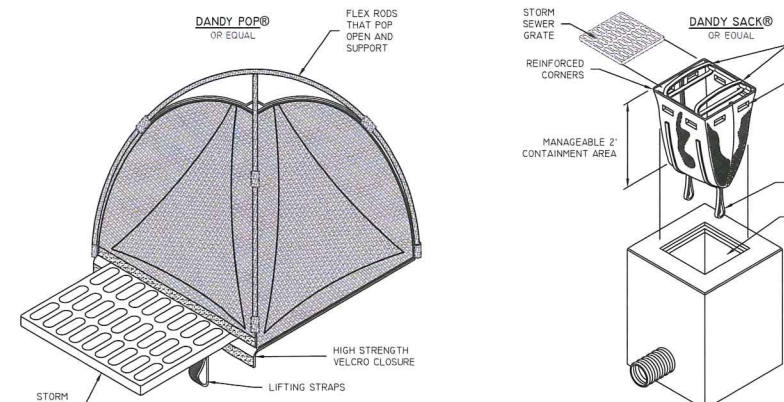
STOCKPILE PROTECTION



NOTES:

- PIT IS SPECIFICALLY DESIGNATED, DIKED AND IMPERVIOUS CONTAINMENT TO PREVENT CONTACT BETWEEN CONCRETE WASH AND STORMWATER.
- WASH WATER SHALL NOT BE ALLOWED TO FLOW TO SURFACE WATER.
- FACILITY MUST HOLD SUFFICIENT VOLUME TO CONTAIN CONCRETE WASTE WITH A MINIMUM FREEBOARD OF 12".
- FACILITY SHALL NOT BE FILLED BEYOND 95% CAPACITY UNLESS A NEW FACILITY IS CONSTRUCTED.
- SAWCUT PORTLAND CEMENT CONCRETE, RESIDUE FROM SAWCUT AND GRINDING TO BE DISPOSED OF IN THE PIT.
- CONCRETE WASHOUTS SHALL BE LOCATED A MINIMUM OF 100' FROM DRAINAGE WAYS, INLETS, AND SURFACE WATERS.
- MANUFACTURED CONCRETE WASHOUT DEVICES MAY BE USED IF REMOVED FROM THE SITE WHEN 95% FULL CAPACITY.

CONCRETE WASHOUT AREA



INLET SEDIMENT CONTROL DEVICES

DiPrete Engineering

Two Stafford Court Cranston, RI 02909
Tel 401-943-1000 Fax 401-944-6606 www.diprete-eng.com

Boston • Providence • Newport

LEONARD R. BRADEN
No. 6610
REGISTERED PROFESSIONAL ENGINEER
CIVIL

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS APPROVED BY THE CITY OF CRANSTON. ANY CHANGES TO THIS PLAN SET MUST BE APPROVED BY THE CITY OF CRANSTON. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE NEAR, MIDDLE AND FAR DISTANCE SURVEYING AND FOR THE ACCURACY OF THE DATA. THE CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF THIS PLAN AND FOR THE ACCURACY OF THE DATA. THE CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF THIS PLAN AND FOR THE ACCURACY OF THE DATA.

NO.	DATE	DESCRIPTION	BY	DESIGN BY
1	12-02-2022	DEVELOPMENT PLAN REVIEW SUBMISSION	R.S.S.	R.S.S.
2	11-02-2022	CITY COUNCIL SUBMISSION	R.S.S.	R.S.S.
3	06-29-2022	DEVELOPMENT PLAN REVIEW SUBMISSION	R.S.S.	R.S.S.
4	06-29-2022	DEVELOPMENT PLAN REVIEW SUBMISSION	R.S.S.	R.S.S.
5	06-29-2022	DEVELOPMENT PLAN REVIEW SUBMISSION	R.S.S.	R.S.S.

SOIL EROSION & SEDIMENT CONTROL PLAN

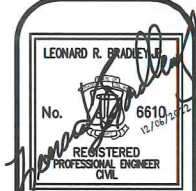
SEASONS CORNER MARKET

ASSESSOR'S PLAT 36, LOTS 116 & 117
CRANSTON, RHODE ISLAND

PREPARED FOR:
COLBEA ENTERPRISES

695 GEORGE WASHINGTON HIGHWAY, LINCOLN, RHODE ISLAND 02865
TEL 401-943-0005

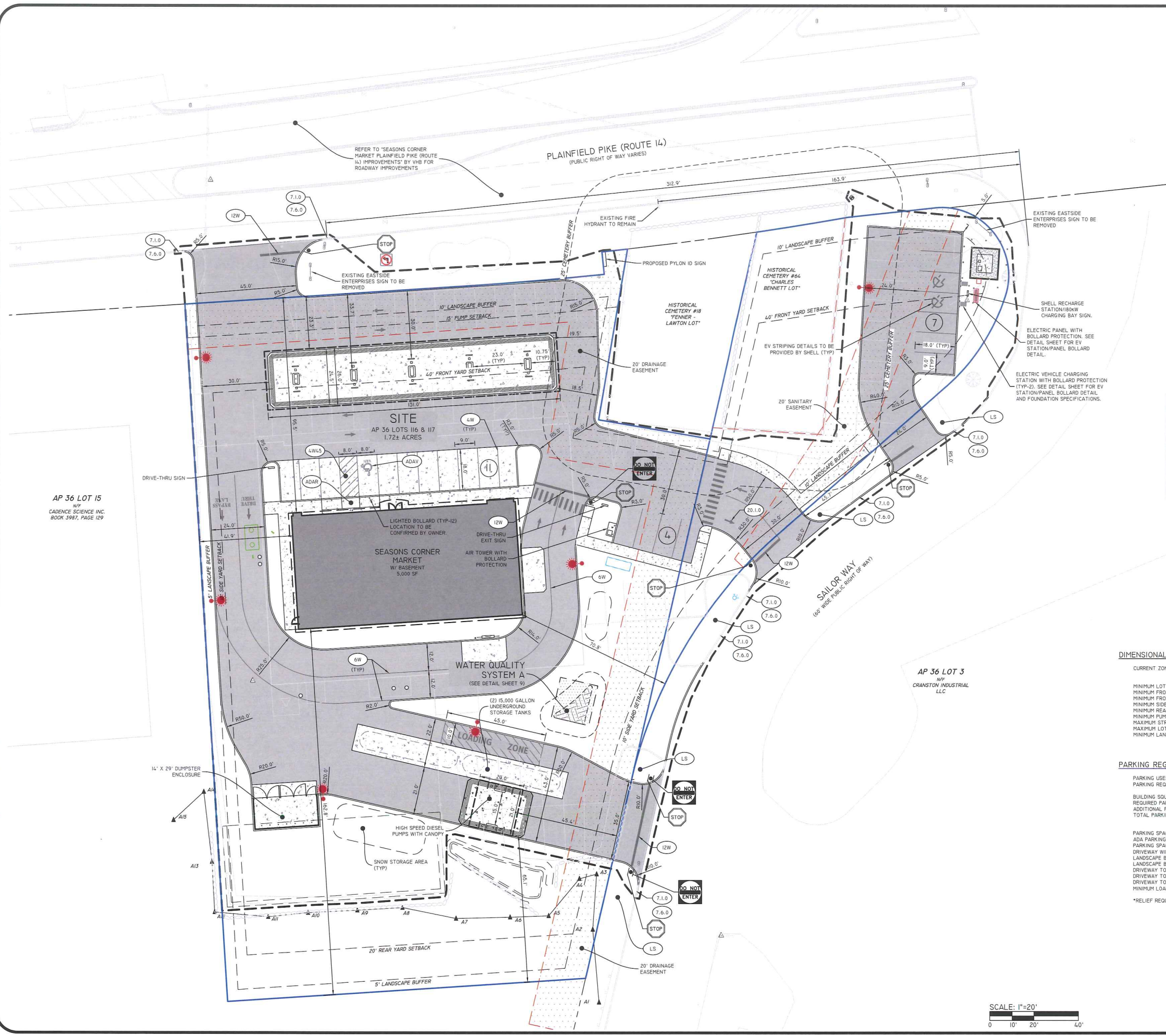
DE 308 NO. 205-0000 COPYRIGHT 2022 BY DIPRETE ENGINEERING ASSOCIATES, INC.



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3	12/02/2022	DEVELOPMENT PLAN REVIEW SUBMISSION	R.S.S.	
4	12/02/2022	DEVELOPMENT PLAN REVIEW SUBMISSION	R.S.S.	
5	12/02/2022	DEVELOPMENT PLAN REVIEW SUBMISSION	R.S.S.	

SITE LAYOUT PLAN
SEASONS CORNER MARKET
ASSESSOR'S PLAT 36, LOTS 116 & 117
CRANSTON, RHODE ISLAND
PREPARED FOR:
COLBEA ENTERPRISES
695 GEORGE WASHINGTON HIGHWAY, LINCOLN, RHODE ISLAND 02865
TEL: 401-943-0005



Development Plan Review Committee

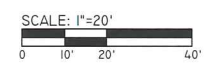
DIMENSIONAL REGULATIONS:

CURRENT ZONING:	CS	GAS	DRIVE-THRU	
	REQUIRED			PROVIDED
MINIMUM LOT AREA:	10,000 SF	12,000 SF	20,000 SF	74,901 SF
MINIMUM FRONTAGE AND LOT WIDTH:	80'	120'	150'	190'
MINIMUM FRONT YARD:	30'	40'	40'	95.5'
MINIMUM SIDE YARD:	8'	10'	20'	41.9'
MINIMUM REAR YARD:	20'	10'	20'	152.8'
MINIMUM PUMP SETBACK:	-	15'	-	33.7'
MAXIMUM STRUCTURE HEIGHT:	35'	-	-	435'
MAXIMUM LOT COVERAGE:	60%	-	-	11.8%
MINIMUM LANDSCAPED AREA	15%	-	-	34.6%

PARKING REGULATIONS:

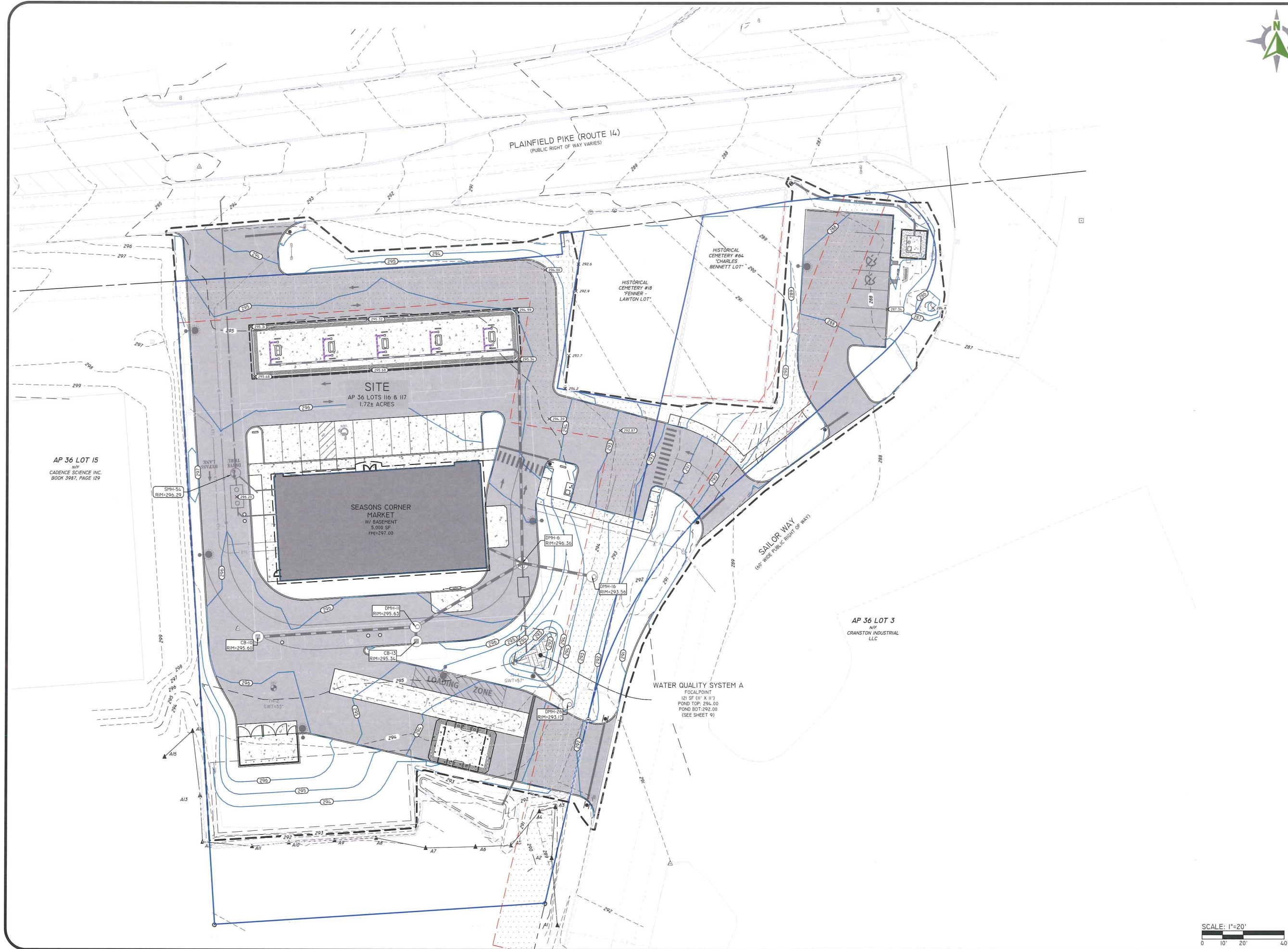
PARKING USE:		RETAIL BUSINESS AND SERVICE ESTABLISHMENTS
PARKING REQUIREMENT:		1 SPACES PER 300 SF (GFA)
BUILDING SQUARE FOOTAGE (GFA):	5,000 SF	
REQUIRED PARKING CALCULATIONS:	5,000 X 1/300 = 17 SPACES	
ADDITIONAL PARKING REQUIRED FOR DRIVE-IN USE:	5 SPACES	
TOTAL PARKING REQUIRED:	22 SPACES	
	REQUIRED	PROVIDED
PARKING SPACES:	22	22
ADA PARKING SPACES (1-25):	1	1
PARKING SPACE SIZE:	9' X 18'	9' X 18'
DRIVEWAY WIDTH:	24' (30' MAX)	24' - 45.0'*
LANDSCAPE BUFFERS AT FRONTAGE:	10'	0'*
LANDSCAPE BUFFER AT SIDE/REAR YARD:	5'	>5'
DRIVEWAY TO PROPERTY LINE SEPARATION:	20'	5'*
DRIVEWAY TO DRIVEWAY SEPARATION:	40'	45.7'
DRIVEWAY TO INTERSECTION SEPARATION:	60'	>60'
MINIMUM LOADING AREA DIMENSION:	450 SF	10' X 45' (450 SF)

*RELIEF REQUESTED



Z:\SEASONSCORNER\PROJECTS\2025-09\PLAINFIELD PIKE\AUTOCAD DRAWINGS\2025-09-PL-PLAN LAYOUT PLAN.DWG PLOTTED: 12/16/2022

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SCALE: 1"=20'
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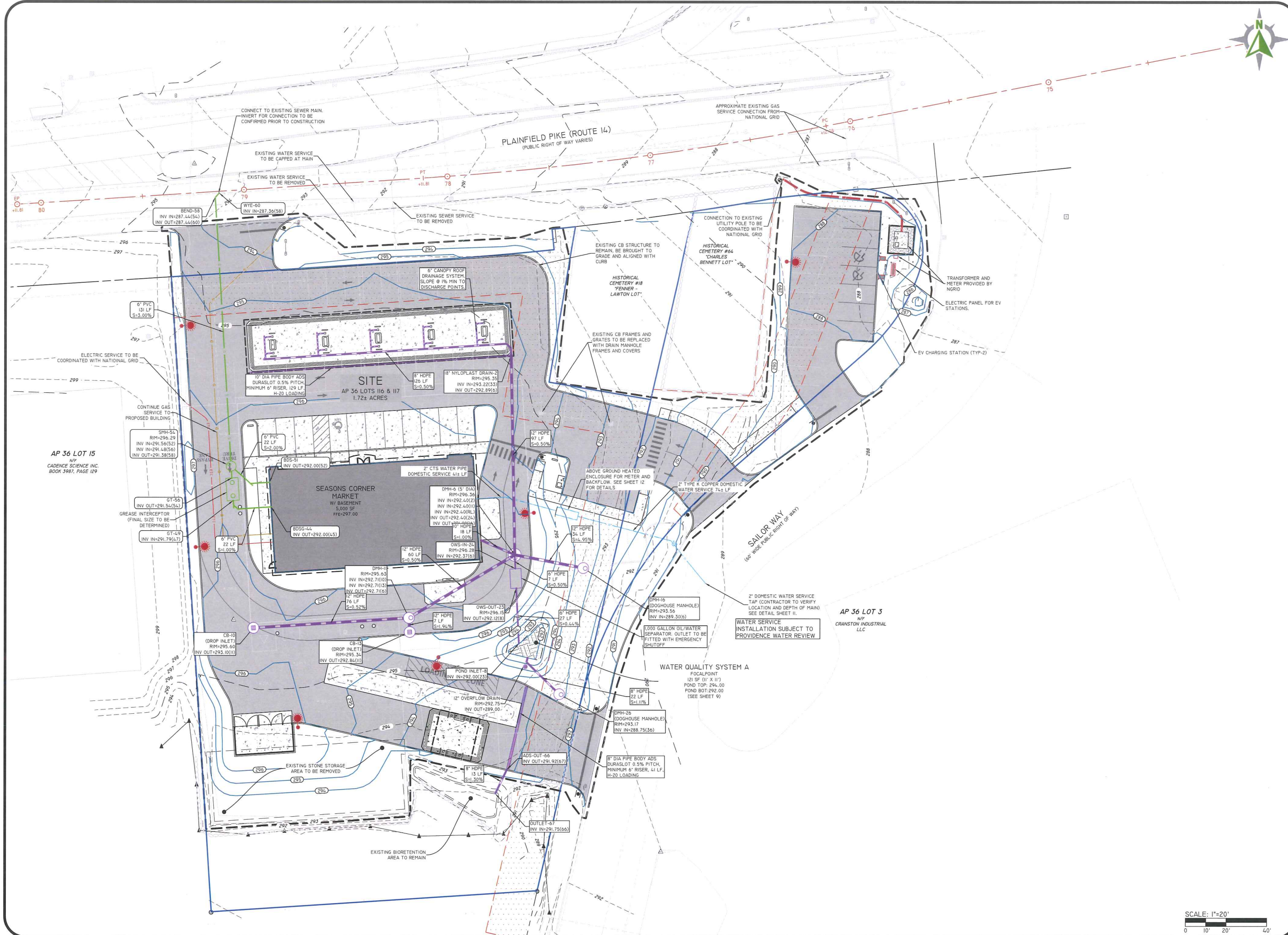
GRADING & SURFACE DRAINAGE PLAN
SEASONS CORNER MARKET
ASSESSOR'S PLAT 36, LOTS 116 & 117
CRANSTON, RHODE ISLAND
PREPARED FOR:
COLBEE ENTERPRISES
695 GEORGE WASHINGTON HIGHWAY, LINCOLN, RHODE ISLAND 02845
TEL 401-943-0005

NO.	DATE	DESCRIPTION	DESIGN BY: R.S.S.
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2	12-26-2022	CITY COUNCIL SUBMISSION	R.S.S.
3	12-26-2022	REVIEW SUBMISSION	R.S.S.
4	12-26-2022	FINAL SUBMISSION	R.S.S.

LEONARD R. BRADLEY
No. 6610
REGISTERED PROFESSIONAL ENGINEER
CIVIL

DiPrete Engineering
Two Stafford Court Cranston, RI 02929
tel 401-943-1000 fax 401-664-6006 www.diprete-eng.com
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Z:\08\08\PROJECTS\08-05-01-PLAINFIELD\08-05-01-PLAIN\08-05-01-PLAIN.DWG PLUTTER: 12/6/2022



SCALE: 1"=20'
0 10' 20' 40'

UTILITIES & DRAINAGE PLAN

SEASONS CORNER MARKET

ASSESSOR'S PLAT 36, LOTS 116 & 117
CRANSTON, RHODE ISLAND

PREPARED FOR:
COLBEA ENTERPRISES

695 GEORGE WASHINGTON HIGHWAY, LINCOLN, RHODE ISLAND 02845
TEL 401-943-0005

LEONARD R. BRADLEY, JR.

No. 6610

REGISTERED
PROFESSIONAL ENGINEER
CIVIL

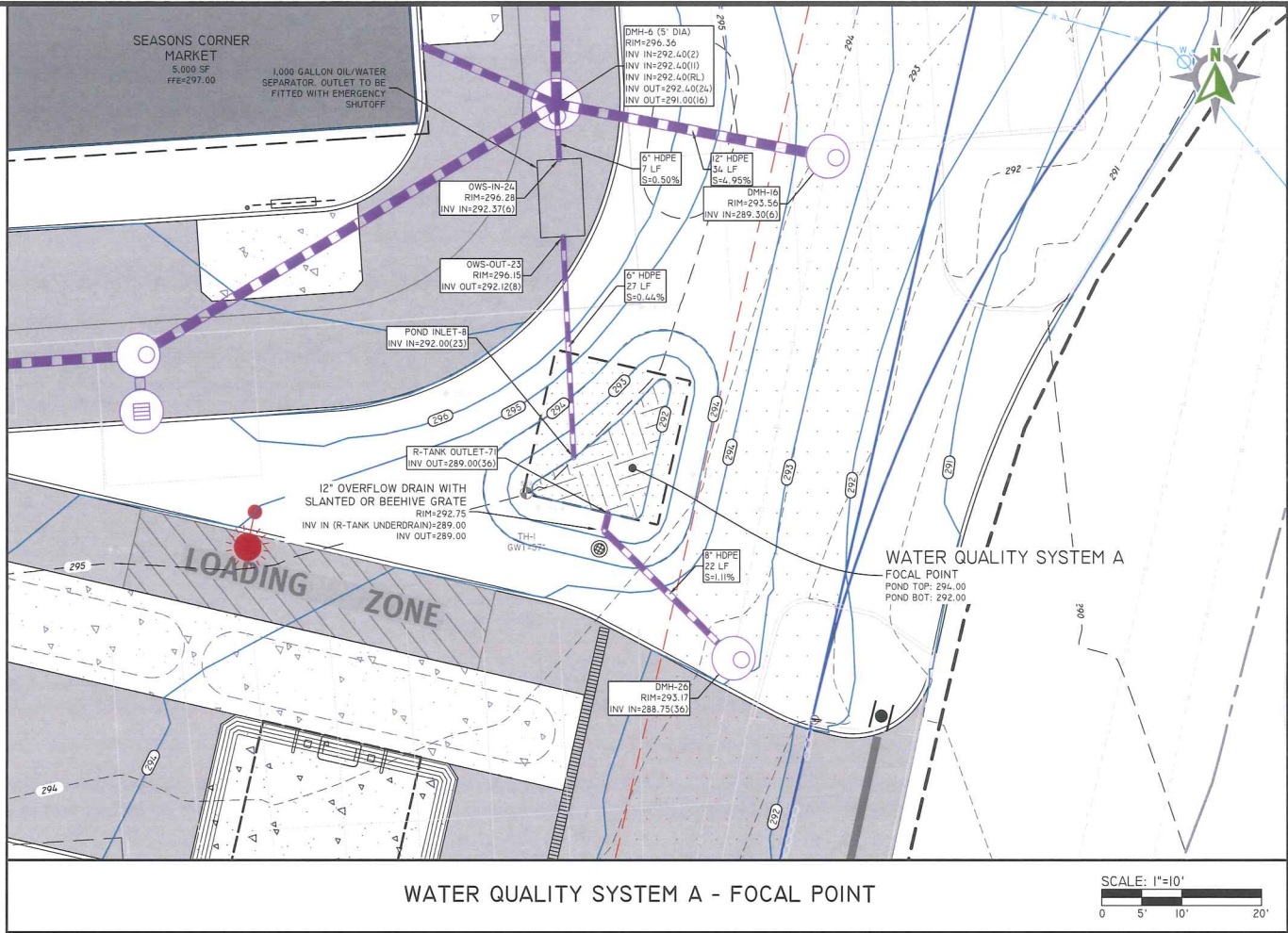
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UNLESS IT IS ACCOMPANIED BY A REGISTERED PROFESSIONAL ENGINEER'S SEAL AND
SIGNED AND DATED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPIRETE

DIPIRETE ENGINEERING ONLY WARRANTS PLANS AND ONLY A DIPIRETE
ENGINEERING TITLE BLOCK, STAMPED BY A REGISTERED
ENGINEER, SHALL BE VALID FOR ANY OTHER PARTY.
ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY.
THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS,
METHODS, MATERIALS, AND EQUIPMENT USED IN THE CONSTRUCTION OF THIS PLAN AND
CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND
DESIGN.

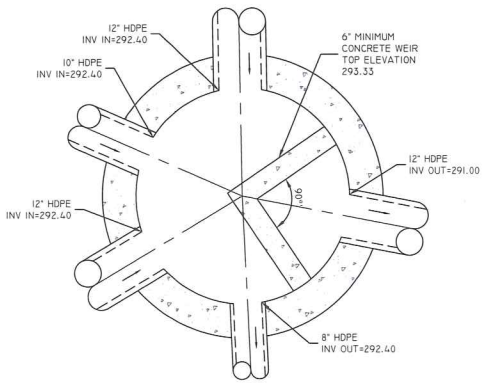
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NO.	DATE	DESCRIPTION	DESIGNED BY: R.S.S.	CHECKED BY: R.S.S.	IN CHARGE BY: R.S.S.
1	12-02-2022	DEVELOPMENT PLAN REVIEW SUBMISSION	R.S.S.	R.S.S.	R.S.S.
2	12-02-2022	CITY COUNCIL SUBMISSION	R.S.S.	R.S.S.	R.S.S.
3	02-02-2022	REVIEW SUBMISSION	R.S.S.	R.S.S.	R.S.S.
4	02-02-2022	REVIEW SUBMISSION	R.S.S.	R.S.S.	R.S.S.

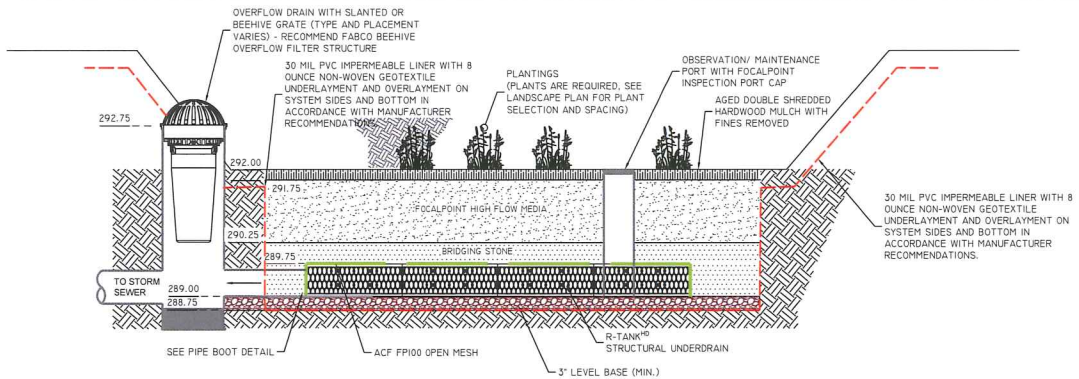
DRAWN BY: R.S.S.
DESIGN BY: R.S.S.



WATER QUALITY SYSTEM A - FOCAL POINT

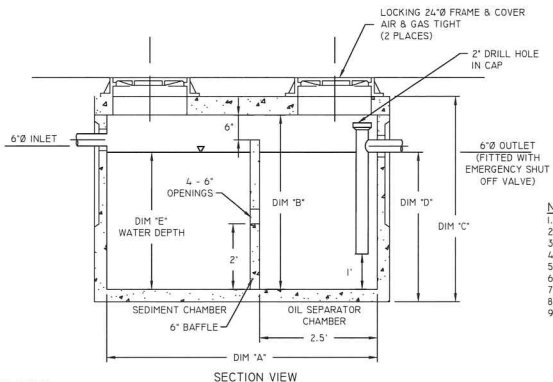


DESCRIPTION	FOCAL POINT
TOP OF FOCAL POINT POND ELEVATION	294.00
BOTTOM OF FOCAL POINT ELEVATION	289.75
100 YEAR STORM ELEVATION	292.90
10 YEAR STORM ELEVATION	292.86
1 YEAR STORM ELEVATION	292.84
SEASONAL HIGH GW ELEVATION	290.25
SOIL EVALUATION	TH-1



TYPICAL FOCAL POINT SECTION WITH OVERFLOW STRUCTURE

NOT TO SCALE



GALLON CAPACITY	1000
MODEL NO.	OW-1000
DIM "A"	6'-0" SO.
DIM "B"	5'-0"
DIM "C"	6'-0"
DIM "D"	4'-6"
WATER DEPTH DIM "E"	4'-0"

- NOTE:
1. CONCRETE: 28 DAY COMPRESSIVE STRENGTH F'C = 5000 PSI
 2. REBAR: ASTM A-615 GRADE 60
 3. DESIGN: ASTM C-858 AND ACI 318
 4. LOADS: AASHTO H-20 TRUCK WHEEL WITH 30% IMPACT PER AASHTO
 5. CONTRACTOR TO SUPPLY AND INSTALL ALL PIPING AND SAMPLING TEES
 6. CONSTRUCTION JOINT SEALANT 1" DIA. BUTYL RUBBER OR EQUIVALENT
 7. INTERIOR OF TANK IS COATED WITH PETROLEUM RESISTANT EPOXY SEALANT
 8. BAFFLE TO BE TIGHTLY SEALED AT SIDEWALLS AND AT THE ROOF
 9. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO DESIGN ENGINEER FOR APPROVAL PRIOR TO ORDERING OIL/WATER SEPARATOR (OW-1000).

SUBMITTAL NOTE:
OIL WATER SEPARATOR SHOWN IS INDICATIVE ONLY.
CONTRACTOR TO PROVIDE SUBMITTAL THAT
ACCOMMODATES THE SPECIFIC SITE DESIGN AND
CONSTRAINTS.

1,000 GALLON OIL/WATER SEPARATOR
(OLD CASTLE PRECAST OR APPROVED EQUAL)

NOT TO SCALE

BMP DETAIL SHEET

SEASONS CORNER MARKET
ASSESSOR'S PLAT 36, LOTS 116 & 117
CRANSTON, RHODE ISLAND

PREPARED FOR:
COLBEA ENTERPRISES

695 GEORGE WASHINGTON HIGHWAY, LINCOLN, RHODE ISLAND 02865
TEL 401-943-0005

DE 368 NO. 265-000 CURRENTLY 302 BY DIPRETE ENGINEERING ASSOCIATES, INC.

DiPrete Engineering



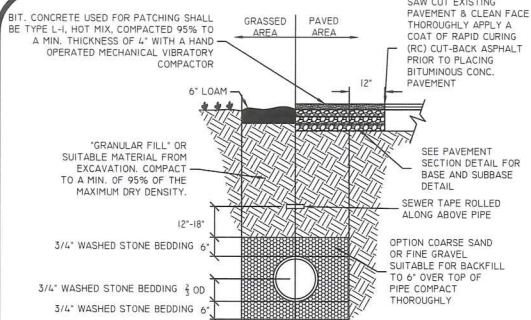
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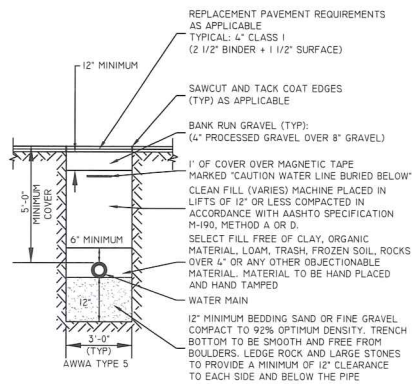
THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS FIRST REVIEWED AND APPROVED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING ASSOCIATES, INC. (DIPRETE ENGINEERING ASSOCIATES, INC. IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, MATERIALS, AND EQUIPMENT USED IN THE CONSTRUCTION OF THIS PLAN AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES. DIPRETE ENGINEERING ASSOCIATES, INC. SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS PLAN SET.)

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6	06-29-2022	DEVELOPMENT PLAN REVIEW SUBMISSION	R.S.S.
7	06-29-2022	DEVELOPMENT PLAN REVIEW SUBMISSION	R.S.S.
8	06-29-2022	DEVELOPMENT PLAN REVIEW SUBMISSION	R.S.S.
9	06-29-2022	DEVELOPMENT PLAN REVIEW SUBMISSION	R.S.S.
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27	06-29-2022	DEVELOPMENT PLAN REVIEW SUBMISSION	R.S.S.
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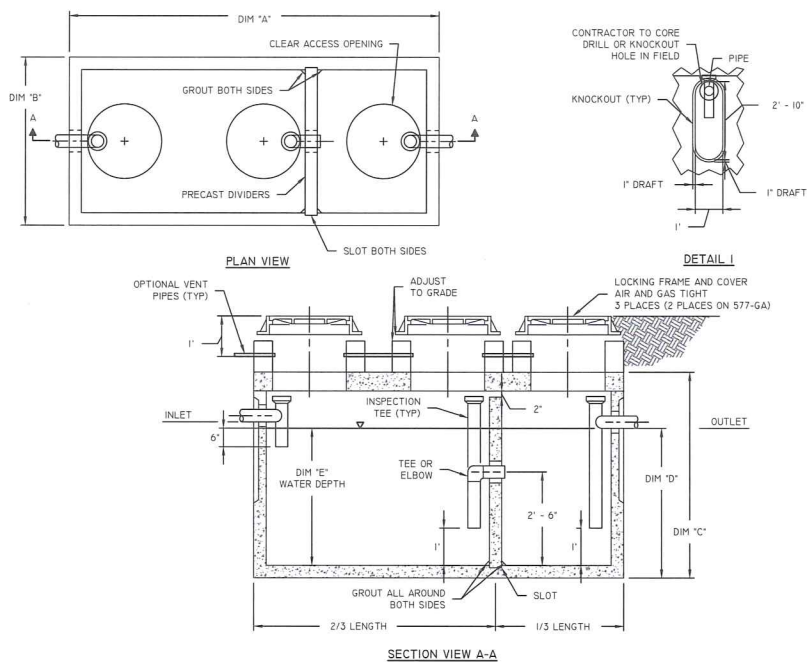


- NOTE:**
1. WIDTH (W) OF TRENCH IS EQUAL TO THE INSIDE DIAMETER OF THE PIPE PLUS 12".
 2. SOIL UNDER CRUSHED STONE FOUNDATION SHALL BE UNDISTURBED AND COMPACTED MATERIAL WITH SEVERAL PASSES OF A VIBRATORY PLATE COMPACTOR.
 3. CRUSHED STONE FOUNDATION 3/4" MAXIMUM SIZE, SHALL BE PLACED 6" UNDER THE PIPE NO UP TO THE PIPE LAID THEREON, CRUSHED STONE PULLED AGAINST THE PIPE SIDES TO FIRMLY HOLD THE PIPE IN PLACE.
 4. CRUSHED STONE HAUNCHING 3/4" MAXIMUM SIZE SHALL BE BROUGHT LEVEL TO THE TOP OF THE PIPE AND OUT TO THE TRENCH WALL AT THIS ELEVATION FOR ALL PIPE.

SEWER TRENCH DETAIL
NOT TO SCALE



WATER TRENCH DETAIL
NOT TO SCALE



GALLON CAPACITY	600	800	1000	1500	2000	2500	3000	4000	5000	6000	7000
UV MODEL NO.	S77-GA	S77-GA	L68L-GA	S106-GA	612-GA	612-GA	712-GA	712-GA	814-GA	818-GA	818-GA
DIM 'A'	7'-0"	7'-0"	9'-0"	11'-2"	12'-8"	12'-8"	13'-1"	13'-1"	15'-7"	19'-11"	19'-11"
DIM 'B'	4'-8"	4'-8"	5'-0"	5'-8"	6'-8"	6'-8"	8'-0"	8'-0"	9'-7"	9'-11"	9'-11"
DIM 'C'	7'-0"	7'-0"	7'-2"	7'-2"	8'-0"	8'-0"	8'-7"	8'-7"	10'-0 1/2"	10'-5"	10'-5"
DIM 'D'	3'-7"	4'-8"	4'-2"	4'-3"	4'-7"	5'-6 1/2"	5'-1"	6'-8"	7'-4"	7'-1"	8'-0"
WATER DEPTH DIM 'E'	3'-3"	4'-4"	3'-10"	3'-11"	3'-9 1/2"	4'-9"	4'-8"	6'-3"	6'-1"	5'-8"	6'-7"

- NOTE:**
1. CONCRETE: 28 DAY COMPRESSIVE STRENGTH F'C = 4500 PSI
 2. REBAR: ASTM A-615 GRADE 60
 3. MESH: ASTM A-185 GRADE 65
 4. DESIGN: ACI-318-02 BUILDING CODE, ASTM C-857 "MINIMUM STRUCTURAL DESIGN LOADING FOR UNDERGROUND PRECAST CONCRETE UTILITY STRUCTURES"
 5. LOADS: H-20 TRUCK WHEEL WITH 30% IMPACT PER AASHTO
 6. FILL WITH CLEAN WATER PRIOR TO START-UP OF SYSTEM
 7. CONTRACTOR TO SUPPLY AND INSTALL ALL PIPING AND SAMPLING TEES
 8. GRAY WATER ONLY, BLACK WATER SHALL BE CARRIED BY SEPARATE SIDE SEWER
 9. FOR MASSACHUSETTS PROJECTS THE PIPES FROM BUILDING TO GREASE TRAP AND FROM GREASE TRAP TO NEXT DOWNSTREAM STRUCTURE MUST BE CAST IRON AND IN ACCORDANCE WITH 284CMR.

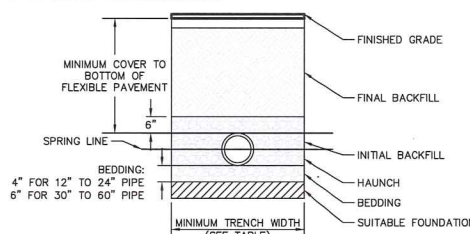
GREASE INTERCEPTOR
NOT TO SCALE

INSTALLATION NOTES:

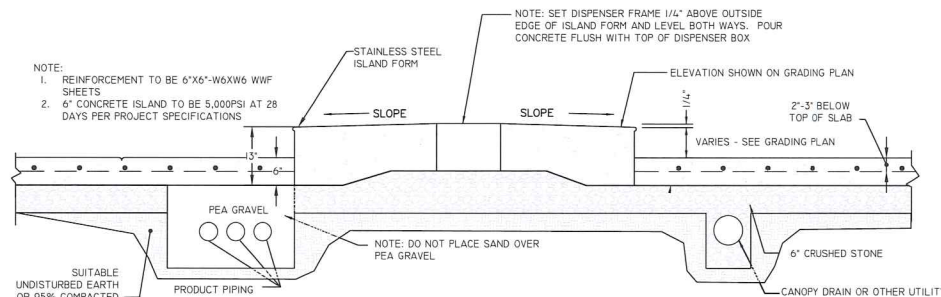
1. ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS, LATEST EDITION.
2. MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
3. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER, AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
4. BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE 4" (100MM) FOR 4"-24" (100MM-600MM); 6" (150MM) FOR 30"-60" (750MM-900MM).
5. INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
6. MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOTATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" Ø PIPE AND 24" OF COVER FOR 60" Ø PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

HDPE Trench Detail
NOT TO SCALE

PIPE Ø	MIN. TRENCH WIDTH	PIPE Ø	MIN. TRENCH WIDTH
4"	21"	24"	48"
6"	23"	30"	56"
8"	26"	36"	64"
10"	28"	42"	72"
12"	30"	48"	80"
15"	34"	60"	96"
18"	39"		

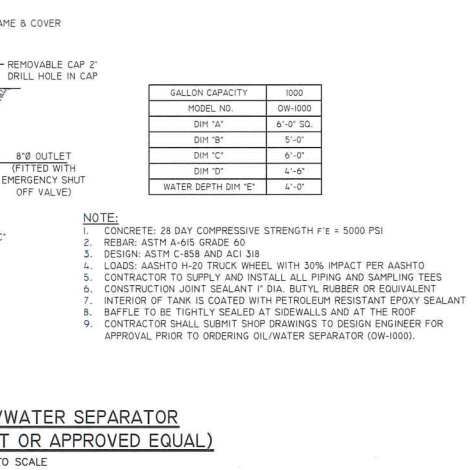


SECTION THRU PUMP ISLAND



- NOTE:**
1. REINFORCEMENT TO BE 6"X6"-W6XW6 WWF SHEETS
 2. 6" CONCRETE ISLAND TO BE 5,000PSI AT 28 DAYS PER PROJECT SPECIFICATIONS

NOTE: DO NOT PLACE SAND OVER PEA GRAVEL

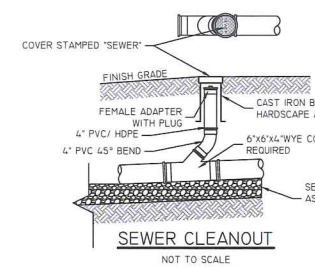


- NOTE:**
1. CONCRETE: 28 DAY COMPRESSIVE STRENGTH F'C = 5000 PSI
 2. REBAR: ASTM A-615 GRADE 60
 3. DESIGN: ASTM C-858 AND ACI 318
 4. LOADS: AASHTO H-20 TRUCK WHEEL WITH 30% IMPACT PER AASHTO
 5. CONTRACTOR TO SUPPLY AND INSTALL ALL PIPING AND SAMPLING TEES
 6. CONSTRUCTION JOINT SEALANT: 1" DIA. BUTYL RUBBER OR EQUIVALENT
 7. INTERIOR OF TANK IS COATED WITH PETROLEUM RESISTANT EPOXY SEALANT
 8. BAFFLE TO BE TIGHTLY SEALED AT SIDEWALLS AND AT THE ROOF
 9. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO DESIGN ENGINEER FOR APPROVAL PRIOR TO ORDERING OIL/WATER SEPARATOR (OW-1000).

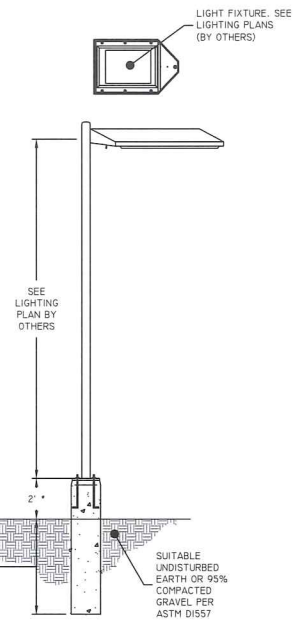
1,000 GALLON OIL/WATER SEPARATOR (OLD CASTLE PRECAST OR APPROVED EQUAL)
NOT TO SCALE

SUBMITTAL NOTE:
OIL WATER SEPARATOR SHOWN IS INDICATIVE ONLY. CONTRACTOR TO PROVIDE SUBMITTAL THAT ACCOMMODATES THE SPECIFIC SITE DESIGN AND CONSTRAINTS.

- NOTES:**
1. ALL PIPE AND FITTINGS SHALL BE GASKETED SDR-35.
 2. PIPE BEDDING AND BACKFILL FOR CLEANOUTS SHALL MEET APPLICABLE SEWER SPECIFICATIONS UNLESS OTHERWISE NOTED BY ENGINEER.
 3. FOR SEPTIC APPLICATIONS, CLEANOUTS ARE REQUIRED AT INTERVALS NOT GREATER THAN 75' FOR ALL OTHER APPLICATIONS. A MINIMUM OF ONE CLEANOUT SHALL BE PLACED ON EACH LATERAL, 5' FROM THE STRUCTURE, AND FOR LONGER RUNS, CLEANOUTS SHALL BE LOCATED EVERY 100' AND AT ADDITIONAL LOCATIONS AS SHOWN ON THE PLANS.
 4. FOR PAVED/ ROADWAY/ HARDSCAPE AREAS, ALL CLEANOUTS SHALL BE SLEEVED WITH A CAST-IRON BOX SET FLUSH WITHIN THE FINAL GRADE. FOR TRAFFICABLE APPLICATIONS, THE CAST-IRON BOX MUST MEET H-20 LOADING. FOR SOFTSCAPE AREAS, CLEANOUT ACCESS COVER SHALL BE SET FLUSH WITH FINAL GRADE (CAST-IRON BOX NOT REQUIRED). ALL COVERS SHALL BE INSCRIBED WITH THE WORD "SEWER."

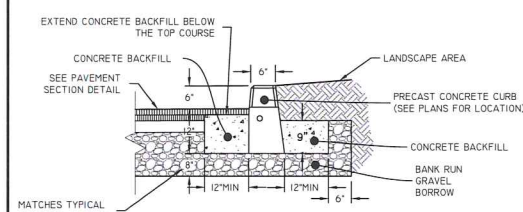


SEWER CLEANOUT
NOT TO SCALE



SITE LIGHT
NOT TO SCALE

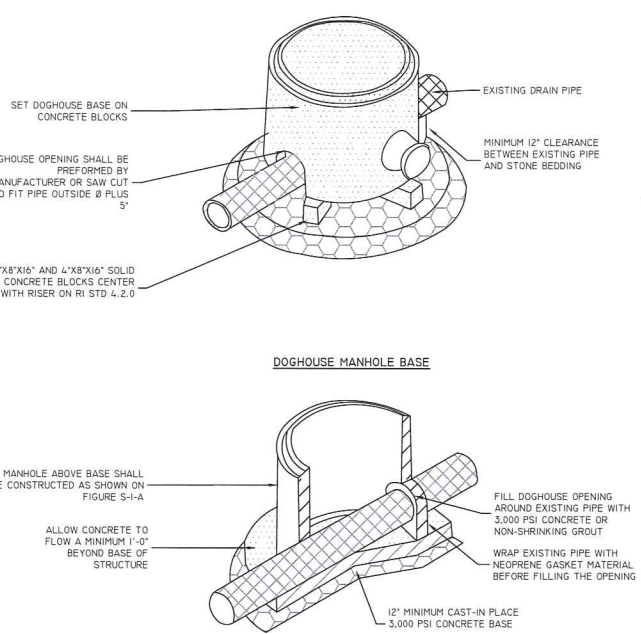
- NOTES:**
1. PRECAST CONCRETE CURBING TO BE INSTALLED AT SPECIFIED ELEVATIONS ON PLANS PRIOR TO POURING OF CONCRETE BACKFILL.
 2. ALL LOCATIONS SPECIFIED IN PLAN SET AS PRECAST CURBING TO HAVE CONCRETE BACKFILL A MINIMUM WIDTH OF 12" AND DEPTH OF 9" POURED BEHIND PRECAST CURBING.
 3. ALL CONCRETE BACKFILL TO BE 4,000 PSI.
 4. PROVIDE EXPANSION JOINTS @ 20' O.C. MAX.



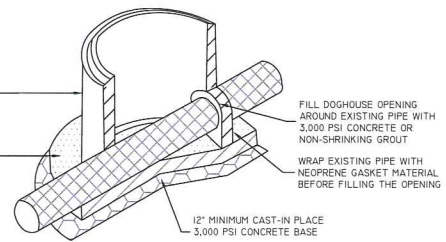
PRECAST CURB SETTING DETAIL
NOT TO SCALE

- NOTES:**
1. CONSTRUCT A FORMED INVERT FROM NEW DRAIN LINE TO ALLOW FLOW TO THE EXISTING PIPE.
 2. POUR A SHELVE TO THE LOWER HALF OF THE EXISTING PIPE.
 3. CUT AND REMOVE THE TOP HALF OF EXISTING PIPE TO WITHIN 6" OF THE MANHOLE WALLS AFTER THE INVERT AND SHELVE HAVE BEEN FORMED AND THE MANHOLE HAS BEEN FULLY TESTED IN ACCORDANCE WITH THE SEWER AUTHORITY SPECIFICATIONS.

TYPICAL MANHOLE BASE (DOGHOUSE INSTALLATION)
NOT TO SCALE



DOGHOUSE MANHOLE BASE



FOUNDATION SECTION VIEW

DiPrete Engineering

Two Stafford Court, Cranston, RI 02909
Tel: 401-943-1000 Fax: 401-943-6006 www.diprete-eng.com

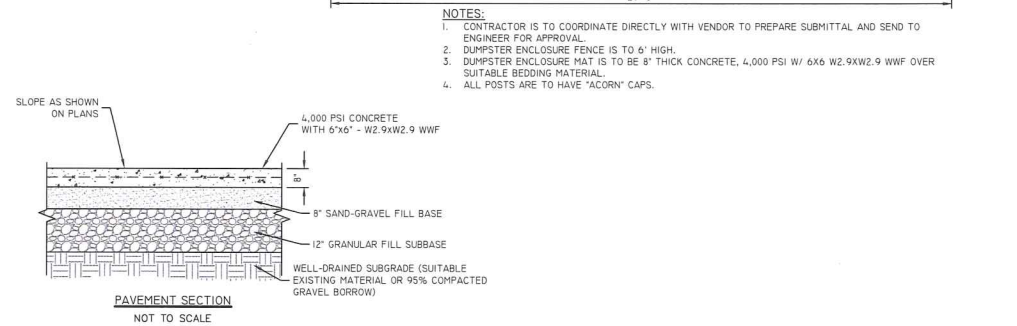
Boston • Providence • Newport

LEONARD R. BRIDGES
No. 6610
REGISTERED PROFESSIONAL ENGINEER
CIVIL

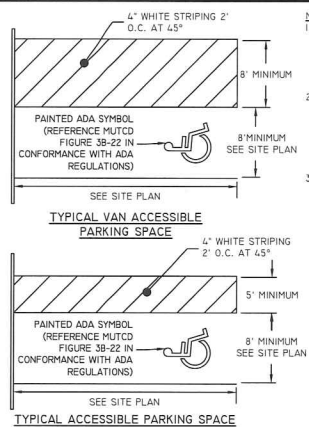
THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS ACCOMPANIED BY THE SIGNATURE OF A REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT. DIPRETE ENGINEERING ONLY WARRANTS THAT THE ENGINEERING TITLE BLOCK, STAMPED BY REGISTERED ENGINEERING, IS A TRUE AND CORRECT REPRESENTATION OF THE ENGINEERING WORK. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, TECHNIQUES, PROCEDURES, AND MATERIALS USED IN THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

NO.	DATE	DESCRIPTION	BY	DATE
1	12-02-2022	DEVELOPMENT PLAN REVIEW SUBMISSION	R.S.S.	
2	11-02-2022	CITY COUNCIL SUBMISSION	R.S.S.	
3	08-29-2022	DEVELOPMENT PLAN REVIEW SUBMISSION	R.S.S.	
4	08-29-2022	DEVELOPMENT PLAN REVIEW SUBMISSION	R.S.S.	
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19	08-29-2022	DEVELOPMENT PLAN REVIEW SUBMISSION	R.S.S.	
20	08-29-2022	DEVELOPMENT PLAN REVIEW SUBMISSION	R.S.S.	

DETAIL SHEET - 1
SEASONS CORNER MARKET
ASSESSOR'S PLAT 36, LOTS 116 & 117
CRANSTON, RHODE ISLAND
COLBEA ENTERPRISES
695 GEORGE WASHINGTON HIGHWAY, LINCOLN, RHODE ISLAND 02845
TEL 401-943-0005
PREPARED FOR:
ASSESSOR'S PLAT 36, LOTS 116 & 117
CRANSTON, RHODE ISLAND
TEL 401-943-0005



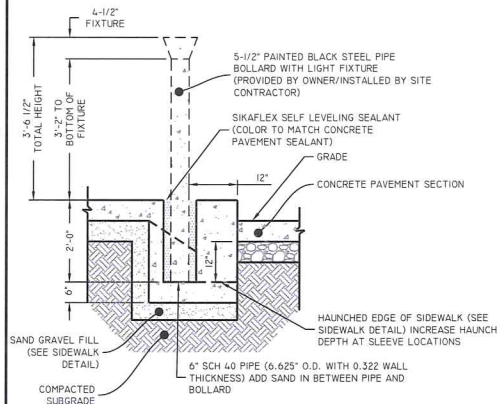
DUMPSTER ENCLOSURE
NOT TO SCALE



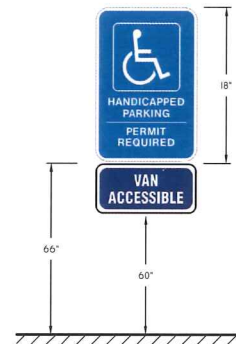
TYPICAL ACCESSIBLE PARKING SPACES
NOT TO SCALE



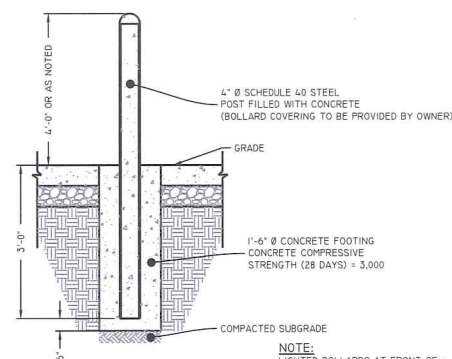
SIDEWALK LIGHTED BOLLARD DETAIL



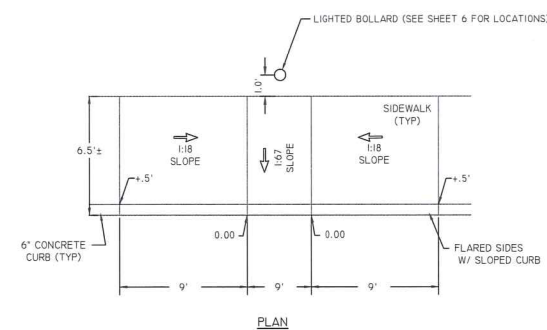
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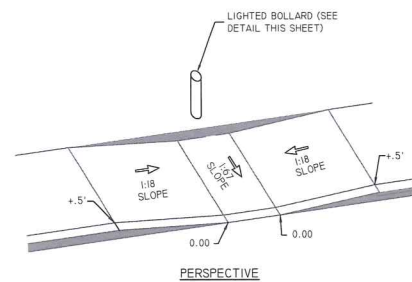
ADA SIGN DETAIL
NOT TO SCALE



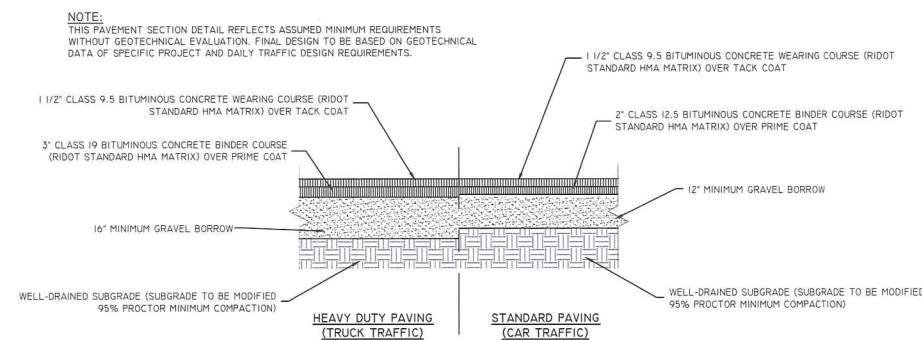
BOLLARD DETAIL
NOT TO SCALE



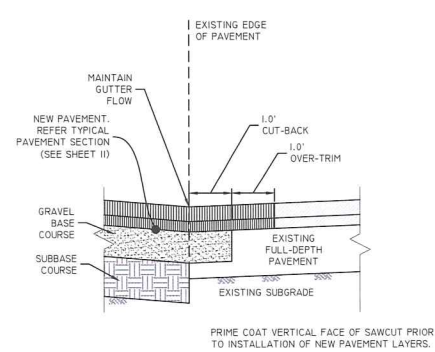
ACCESSIBLE RAMP AT BUILDING
NOT TO SCALE



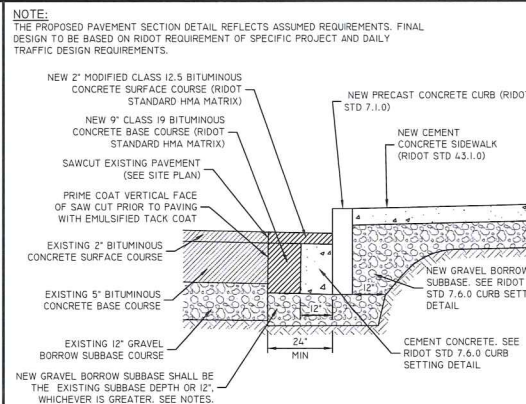
PERSPECTIVE



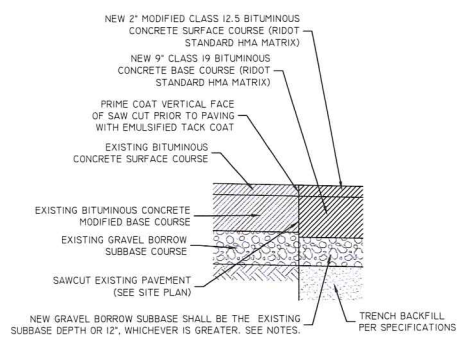
TYPICAL PAVEMENT SECTION
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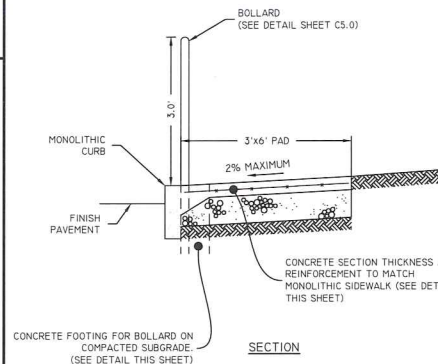
PAVEMENT TIE-IN DETAIL
NOT TO SCALE



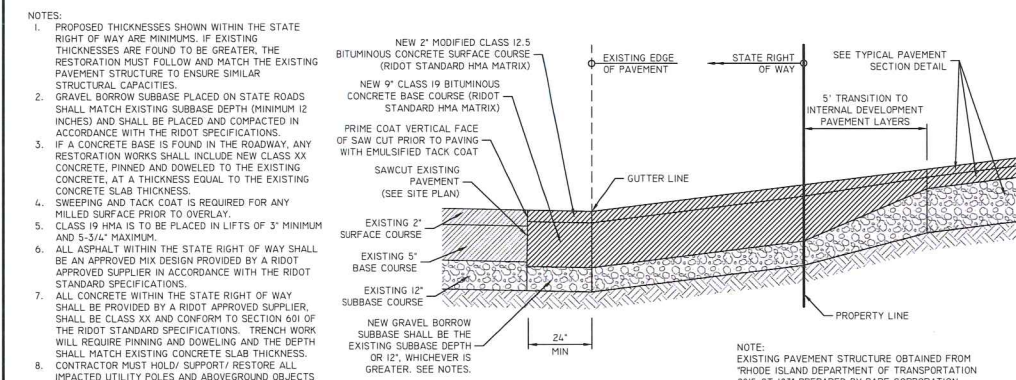
SECTION THROUGH NEW CURB & SIDEWALK
NOT TO SCALE



SECTION THROUGH TRENCH
NOT TO SCALE

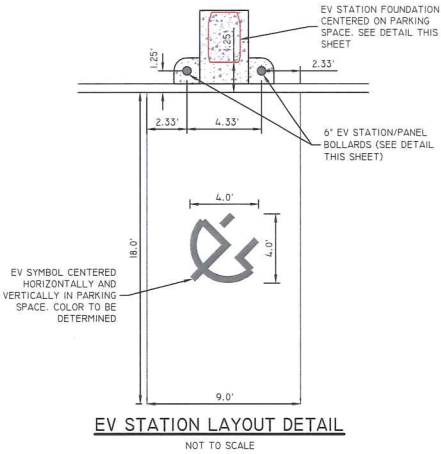


AIR TOWER FOUNDATION DETAIL

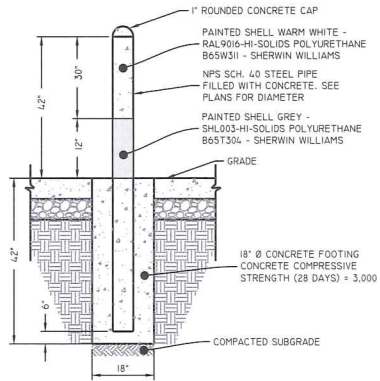


PAVEMENT TIE IN DETAIL - RIDOT
NOT TO SCALE

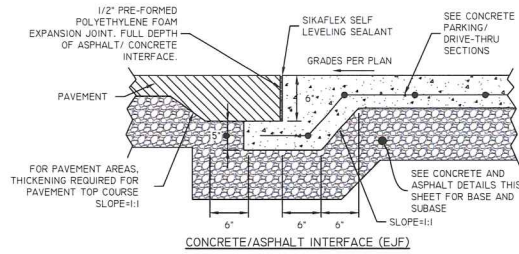
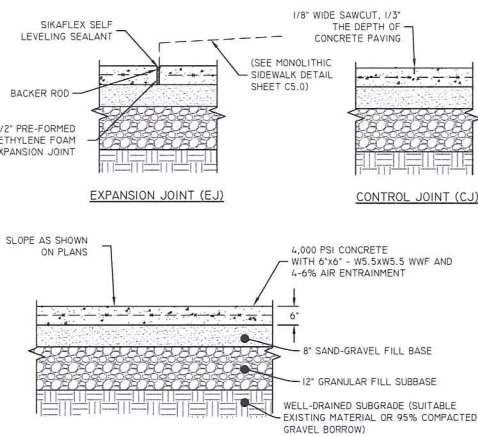
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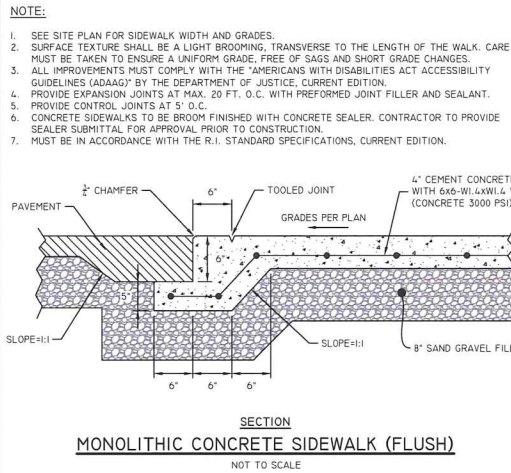
EV STATION LAYOUT DETAIL
NOT TO SCALE



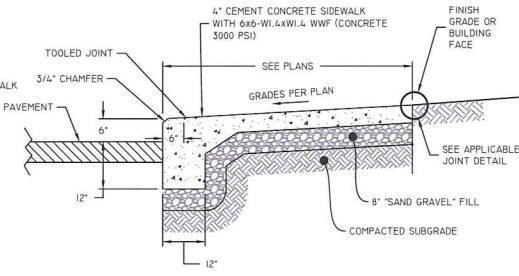
EV STATION/PANEL BOLLARD DETAIL
NOT TO SCALE



CONCRETE PARKING/ DRIVE THRU PAD DETAILS

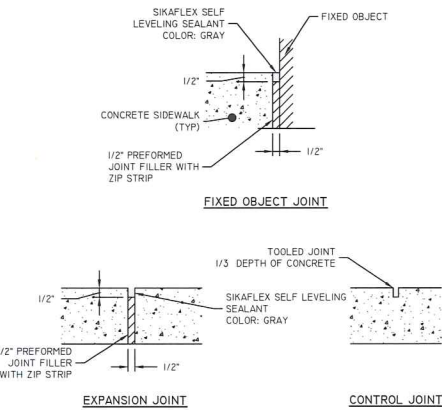


MONOLITHIC CONCRETE SIDEWALK (FLUSH)
NOT TO SCALE



MONOLITHIC CONCRETE SIDEWALK (6" REVEAL)
NOT TO SCALE

- NOTES:
- THIS PAVEMENT SECTION DETAIL REFLECTS ASSUMED MINIMUM REQUIREMENTS WITHOUT GEOTECHNICAL EVALUATION. FINAL DESIGN TO BE BASED ON GEOTECHNICAL DATA OF SPECIFIC PROJECT AND DAILY TRAFFIC DESIGN REQUIREMENTS.
 - SAWCUT CONTROL JOINTS TO BE MAX SPACING OF 15' O.C.
 - EXPANSION JOINTS TO BE MAX SPACING OF 80' O.C. WITH A JOINT FILLER THICKNESS BASED ON THERMAL EXPANSION.
 - EXPANSION JOINTS TO BE INSTALLED FULL DEPTH OF PAVEMENT AND SEALED WITH AN AASTHO APPROVED ELASTOMERIC JOINT SEALER.
 - SLABS SEPARATED BY AN EXPANSION JOINT SHOULD BE TIED TOGETHER WITH DOWELS THAT ARE 2'-6" LONG AT A SPACING OF 18". DOWELS MUST BE SLEEVED ON ONE SIDE OF THE JOINT TO ALLOW FOR MOVEMENT WITHOUT CRACKING.
 - EXPANSION JOINTS TO BE INSTALLED AT INTERFACES WITH ALL WALLS, CURBS, COLUMNS, STEPS, CHANGES IN PAVEMENT AND BUILDINGS.
 - THOROUGHLY WASH AND CLEAN ALL SURFACES AND REMOVE ALL DEBRIS AFTER SAWCUTTING.
 - BACKER ROD SHALL BE A CLOSED CELL POLYURETHANE FOAM ROD WITH A DIAMETER 25% LARGER THAN THE WIDTH OF PREFORMED JOINT.
 - SIKAFLEX SELF LEVELING SEALANT COLOR TO BE GRAY.
 - ALL PAVEMENT LAYERS MUST COMPLY WITH TOWN & RIDOT SPECIFICATIONS.



EXPANSION JOINT
CONTROL JOINT

DETAIL SHEET - 3

SEASONS CORNER MARKET

ASSESSOR'S PLAT 36, LOTS 116 & 117

CRANSTON, RHODE ISLAND

PREPARED FOR:

COLBEA ENTERPRISES

695 GEORGE WASHINGTON HIGHWAY, LINCOLN, RHODE ISLAND 02865

TEL 401-943-0005

DiPrete Engineering

Two Stafford Court Cranston, RI 02920

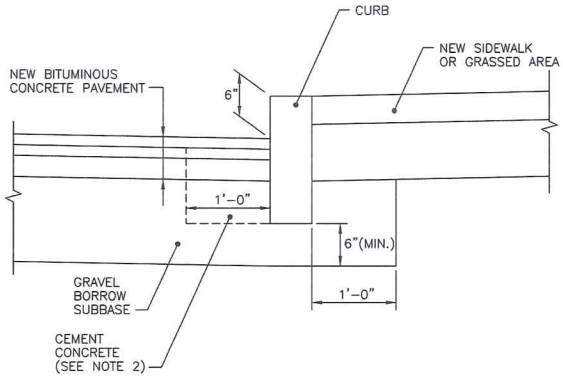
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LEONARD R. BRADLEY
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REGISTERED PROFESSIONAL ENGINEER
CIVIL

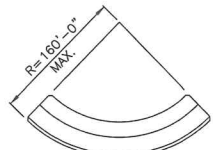
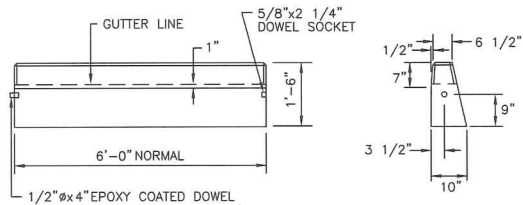
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PHOTO ENGINEERING ONLY WARRANTS A PLANNING BOARD, A PLANNING COMMISSION, A PLANNING BOARD OF ADJUDICATION, A PL



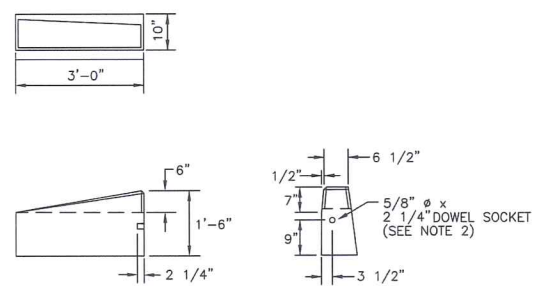
- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. CEMENT CONCRETE SHALL BE USED ONLY WHEN THE CURB IS SET AFTER THE BASE AND/OR BINDER COURSES ARE IN PLACE. OTHERWISE THE CEMENT CONCRETE WILL BE ELIMINATED AND THE GRAVEL BROUGHT UP TO BOTTOM OF THE BASE COURSE.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION		
NO.	BY	DATE
1	MLP	Mar 05
CURB SETTING DETAIL		
		JUNE 15, 1998 ISSUE DATE
R.I. STANDARD 7.6.0		



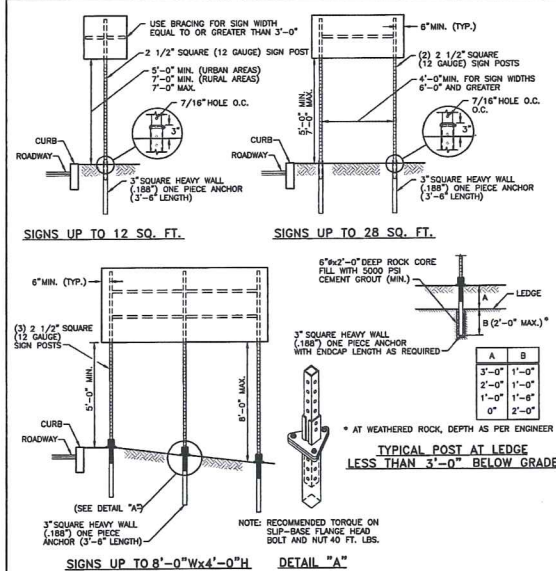
- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0".
 3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
 4. CIRCULAR CURB IS REQUIRED ON CURVES WITH RADII OF 160'-0" OR LESS. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 160'-0" RADIUS.
 5. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION		
NO.	BY	DATE
1	MLP	Mar 05
PRECAST CONCRETE CURB		
		JUNE 15, 1998 ISSUE DATE
R.I. STANDARD 7.1.0		



- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. DRAWING SHOWS TRANSITION CURB FOR ONE DIRECTION, FOR OTHER DIRECTION USE OPPOSITE HAND AND INCLUDE A 1/2" x 4" EPOXY COATED DOWEL.
 3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
 4. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.
 5. LEFT AND RIGHT SECTIONS SHALL BE INSTALLED AS REQUIRED.

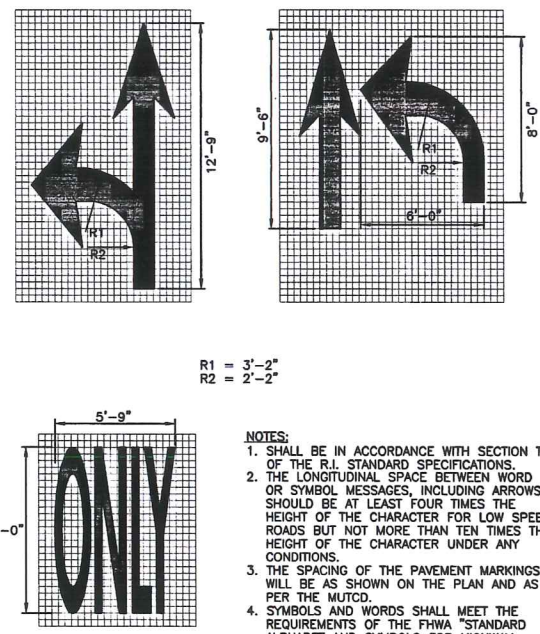
RHODE ISLAND DEPARTMENT OF TRANSPORTATION		
NO.	BY	DATE
1	MLP	Mar 05
2	MLP	06/01/10
3'-0" PRECAST CONCRETE TRANSITION CURB		
		JUNE 15, 1998 ISSUE DATE
R.I. STANDARD 7.1.1		



- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 7.15 OF THE R.I. STANDARD SPECIFICATIONS.
 2. SIGN SUPPORTS HAVE BEEN DESIGNED IN ACCORDANCE WITH AASHTO SPECIFICATIONS FOR A 10-YEAR MEAN WIND RECURRENCE INTERVAL.
 3. FOR INSTALLATION IN GROUND OR BITUMINOUS CONCRETE DRIVE SIGN POST ANCHOR TO REQUIRED DEPTH SO THAT THE HOLE WILL MATCH TO SIGN POST ABOVE GROUND FOR THE BOLT CONNECTION. INSERT SIGN POST AND BOLT IN PLACE.
 4. FOR INSTALLATION IN CONCRETE SEE STD. 25.3.0 AND FOLLOW THE PROCEDURE IN NOTE 2.
 5. FOR INSTALLATION IN EDGE LESS THAN 3'-0" BELOW GRADE SEE DETAIL ABOVE.
 6. EDGE OF SIGN SHALL BE 1'-6" (MIN.) FROM EDGE OF CURB IN URBAN AREAS AND 6'-0" (MIN.) FROM EDGE OF CURB IN EDGE OF CURB IN RURAL AREAS.
 7. INSTALLATION PROCEDURES SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
 8. BREAKAWAY SIGN SUPPORTS SHALL BE FABRICATED FROM STEEL AND SHALL CONFORM TO THE BREAKAWAY DESIGN SHOWN ON THIS SHEET.
 9. STEEL POSTS SHALL CONFORM TO ASTM-A361, PY= 55 KSI. THE CROSS SECTION OF THE POST SHALL BE SQUARE TUBE FORMED OF 12 GAUGE (104 U.S. GAUGE) COLD-ROLLED CARBON STEEL SHEETS WHICH HAVE BEEN ZINC COATED (1.25 OZ.) CONFORMING TO ASTM-A453, CAREFULLY ROLLED TO SIZE AND WELDED DIRECTLY IN THE CORNER BY HIGH FREQUENCY RESISTANCE WELDING OR EQUAL AND EXTERNALLY SCALED TO AGREE WITH CORNER RADI. STANDARD CORNER RADI. SHALL BE 1/2" FOR 12" POSTS OR 3/4" FOR 18" POSTS.
 10. ALL BOLTS, NUTS AND WASHERS SHALL BE GALVANIZED AS PER ASTM-A153.
 11. ALL BOLTS, NUTS AND WASHERS SHALL BE GALVANIZED AS PER ASTM-A153.
 12. FOR SIGNS GREATER THAN 32 SQ. FT., REFER TO STD. 30.1.0, 30.1.1, 30.2.0, 30.2.1, 30.3.0, 30.3.1, 30.4.0, 30.4.1, 30.4.2 AND 30.4.3.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION		
NO.	BY	DATE
1	MLP	Mar 05
SIGN POST SELECTION AND INSTALLATION DETAILS SQUARE POST (SIGNS UP TO 8'-0" Wx 4'-0" H)		
		JUNE 15, 1998 ISSUE DATE
R.I. STANDARD 24.1.0		

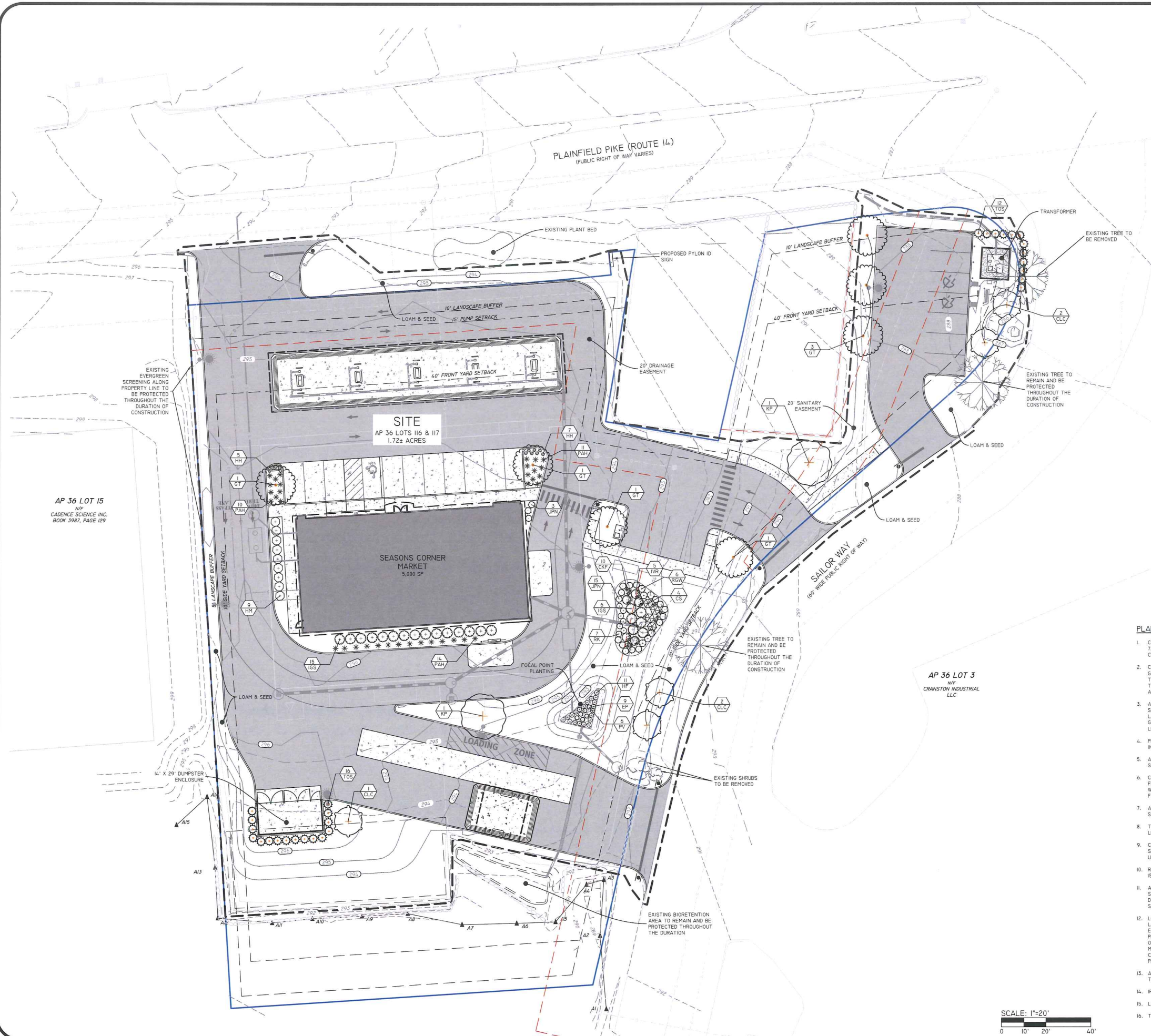
NO.	BY	DATE
1	MLP	Mar 05
REGULATORY SIGNS		
		JUNE 15, 1998 ISSUE DATE
R.I. STANDARD 27.1.0		



- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION T.20 OF THE R.I. STANDARD SPECIFICATIONS.
 2. THE LONGITUDINAL SPACE BETWEEN WORD OR SYMBOL MESSAGES, INCLUDING ARROWS, SHOULD BE AT LEAST FOUR TIMES THE HEIGHT OF THE CHARACTER FOR LOW SPEED ROADS BUT NOT MORE THAN TEN TIMES THE HEIGHT OF THE CHARACTER UNDER ANY CONDITIONS.
 3. THE SPACING OF THE PAVEMENT MARKINGS WILL BE AS SHOWN ON THE PLAN AND AS PER THE MUTCD.
 4. SYMBOLS AND WORDS SHALL MEET THE REQUIREMENTS OF THE FHWA "STANDARD ALPHABET AND SYMBOLS FOR HIGHWAY PAVEMENT MARKINGS."

RHODE ISLAND DEPARTMENT OF TRANSPORTATION		
NO.	BY	DATE
1	MLP	Mar 05
PAVEMENT MARKINGS ARROWS AND ONLY		
		JUNE 15, 1998 ISSUE DATE
R.I. STANDARD 20.1.0		

Z:\DEVELOPMENT\PROJECTS\2015-001\3\JANFIELD\PRELIM\CAD DRAWINGS\2015-001-LANDSCAPE\PLANTING 12/19/2022



PLANTING NOTES:

- CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS BY NOTIFYING DIG-SAFE 1-888-364-7233 AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION OR SITE PREPARATION AND ANY/OR ALL LOCAL UTILITY COMPANIES AS REQUIRED.
- CONTRACTOR TO PROVIDE A TWO (2) YEAR GUARANTEE FOR ALL MATERIALS. CONTRACTOR GUARANTEES THAT PLANTS WILL REMAIN HEALTHY FOR TWO (2) GROWING SEASONS. CONTRACTOR TO MAINTAIN ALL PLANTING AND LAWN UNTIL FINAL PROJECT ACCEPTANCE. GUARANTEE PERIOD TO COMMENCE AT FINAL ACCEPTANCE. ANY REPLACEMENT PLANTS SHALL BE OF THE SAME SIZE AND SPECIES AS SPECIFIED WITH NEW GUARANTEE COMMENCING ON THE DATE OF REPLACEMENT.
- ALL PLANT MATERIAL SHALL CONFORM, IN ALL RESPECTS, TO THE GUIDELINES OF "THE AMERICAN STANDARD FOR NURSERY STOCK," LATEST EDITION, PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, INC. ALL PLANTS SHALL BE NURSERY GROWN AND SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST TWO (2) YEARS.
- PLANT SUBSTITUTION SELECTION MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL PLANTS TO BE PLANTED SO THAT AFTER SETTLEMENT THEY BEAR THE SAME RELATION TO THE SURROUNDING GROUND AS TO THEIR ORIGINAL GRADE BEFORE DIGGING.
- CREATE SAUCER AROUND INDIVIDUAL PLANTS CAPABLE OF HOLDING WATER. ALL PLANTS TO BE FLOODED WITH CLEAN WATER TWICE WITHIN THE FIRST 24 HOURS OF PLANTING. ADDITIONAL WATERING SHALL BE MADE AS REQUIRED TO KEEP PLANTS FROM WILTING AND DRYING OUT UNTIL FINAL ACCEPTANCE.
- ALL PLANTS TO RECEIVE A MINIMUM OF FOUR (4) INCHES OF MULCH COMPRISED OF DARK, AGED SHREDDED BARK AND SHALL COVER PLANTING BEDS AS SHOWN ON DRAWINGS.
- TRIM BROKEN AND DEAD BRANCHES FROM TREES AND SHRUBS AFTER PLANTING. NEVER CUT A LEADER.
- CONTRACTOR TO LOAM AND SEED ALL DISTURBED AREAS USING AN ENDOPHYTE ENHANCED GRASS SEED MIX AT A RATE OF 5-7 LBS. PER 1,000 SF OR AS DIRECTED BY TOWN. ANY SOD (TURF) UTILIZED SHALL BE DROUGHT TOLERANT ENDOPHYTES OR PREDOMINANTLY FESCUE IN CHARACTER.
- RECOMMENDED DATES FOR PLANTING ARE MARCH 15 TO JUNE 15 AND SEPTEMBER 15 TO NOVEMBER 15.
- ALL LANDSCAPED AREAS SHALL BE KEPT FREE OF WEEDS AND DEBRIS. ALL VEGETATION WITHIN SAID AREAS SHALL BE MAINTAINED FREE OF PHYSICAL DAMAGE CAUSED BY CHEMICALS, INSECTS, DISEASES, LACK OF WATER OR OTHER CAUSES. DAMAGED PLANTS SHALL BE REPLACED WITH THE SAME OR SIMILAR VEGETATION ON AN ANNUAL BASIS.
- LOAM MOVED ON SITE TO BE STOCKPILED AND RETAINED AND TO BE USED AS REQUIRED FOR THE LANDSCAPE DESIGN. LOAM SHALL NOT BE MIXED WITH ANY UNSUITABLE MATERIALS OR SUBSOIL. EXCESS LOAM TO REMAIN ON THE OWNER'S PROPERTY AND ONLY REMOVED WITH THE OWNERS PERMISSION. NEW LOAM SHALL BE FRIABLE, FERTILE, MEDIUM TEXTURED SANDY LOAM THAT IS FREE OF TOXIC MATERIALS FOR HEALTHY PLANT GROWTH AND SURVIVAL. LOAM SHALL BE FREE OF MATTER 1" OR GREATER IN DIAMETER AND WHEN TESTED SHALL HAVE A PH BETWEEN 5.5 AND 7.5. CONTRACTOR TO PROVIDE 8 INCHES OF GOOD QUALITY, LOAM AND/OR REUSE EXISTING LOAM TO PROVIDE A MINIMUM 6 INCH DEPTH.
- ANY DISTURBED AREA DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL STATE BY THE CONTRACTOR BEFORE COMPLETION OF THE PROJECT.
- IRRIGATION BY OTHERS.
- LIGHTING PHOTOMETRICS/DESIGN BY OTHERS.
- THIS PLAN IS FOR LANDSCAPE PLANTING ONLY.

SCALE: 1"=20'
0 10' 20' 40'

LANDSCAPE PLAN

SEASONS CORNER MARKET
ASSESSOR'S PLAT 36, LOTS 116 & 117
CRANSTON, RHODE ISLAND

PREPARED FOR:
COLBEA ENTERPRISES

695 GEORGE WASHINGTON HIGHWAY, LINCOLN, RHODE ISLAND 02865
TEL 401-943-0005

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS FIRST REVIEWED AND APPROVED BY A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING, INC. ONLY WARRANT PLANS ON A DIPRETE ENGINEERING TITLE BLOCK STAMPED IN REGISTERED ENGINEERING DESIGN. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, MATERIALS, AND SEQUENCES OF CONSTRUCTION IN THE IMPLEMENTATION OF THIS PLAN AND ANY DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES. SEE PLAT 36, LOTS 116 & 117, SHEET 12.



DiPrete Engineering

Two Stafford Court, Cranston, RI 02930
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CITY OF CRANSTON, RI ZONING REGULATIONS:

CHAPTER 17.84 - DEVELOPMENT PLAN REVIEW

17.84.14.0 - DEVELOPMENT AND LANDSCAPING DESIGN STANDARDS.

A. PURPOSE. THE PURPOSE OF THIS SECTION IS TO PROMOTE EFFECTIVE SITE PLANNING, DESIGN AND LANDSCAPING SO AS TO PROMOTE A HIGH QUALITY OF DEVELOPMENT IN THE CITY.

1. IMPROVE THE ENVIRONMENT BY PROVIDING OPEN SPACE, STREET TREES AND LANDSCAPING;

II. PRESERVE THE CHARACTER AND SCALE OF NEIGHBORHOODS BY REQUIRING A DEVELOPMENT TO BE COMPATIBLE WITH THE EXISTING CHARACTER OF THE AREA.

2. MITIGATE ENVIRONMENTAL, VISUAL AND OTHER IMPACTS BY REQUIRING ADEQUATE BUFFERING;

3. PROMOTE SAFE AND EFFICIENT PEDESTRIAN, BICYCLE AND TRAFFIC CIRCULATION;

4. MINIMIZE NOISE, DUST, POLLUTION AND GLARE THAT MAY BE GENERATED BY A DEVELOPMENT;

5. PROVIDE FOR COOLING OF AIR AND LAND THROUGH SHADING IN ORDER TO OFFSET RADIATIONAL HEATING;

6. MITIGATE IMPACTS FROM STORM WATER RUNOFF AND SURFACE WATER CONTAMINATION AND PROTECT WATER QUALITY;

7. MAINTAIN GROUND WATER, PROVIDE FOR EROSION AND FLOOD CONTROL AND FOR ABSORPTION OF POLLUTANTS.

B. INFILL DEVELOPMENT. A NON-RESIDENTIAL DEVELOPMENT ON A PARCEL HAVING LESS THAN TWO HUNDRED (200) FEET OF FRONTAGE SHALL BE CONSIDERED AN INFILL DEVELOPMENT. THE DESIGN OF SAID DEVELOPMENT SHALL TAKE INTO CONSIDERATION THE FRONT YARD SETBACKS AND HEIGHTS OF BUILDINGS ON ABUTTING PROPERTIES.

C. LANDSCAPE STANDARDS.

1. GENERAL REQUIREMENTS.

A. LANDSCAPING SHALL BE PROVIDED AS PART OF A DEVELOPMENT IN ORDER TO PRESERVE AND ENHANCE THE IDENTITY OF A DEVELOPMENT.

B. A MINIMUM OF FIFTEEN (15) PERCENT OF A DEVELOPMENT'S PARCEL SHALL BE LANDSCAPED.

REQUIRED LANDSCAPING = 15%

SITE AREA = 74,901 SF

PROPOSED LANDSCAPE/PERVIOUS AREA = 25,925 SF

PERCENT LANDSCAPED AREA = 25,925 SF / 74,901 SF = 34.6% (0.346) > 15%

C. ONCE A PROJECT COMPLIES WITH THE MINIMUM PARKING STANDARDS, THEN PRIORITY SHALL BE GIVEN TO MEETING THE LANDSCAPING STANDARDS ABOVE ADDITIONAL PARKING.

2. SITE ACTIVITIES.

A. TOPSOIL PRESERVATION:

I. TO THE EXTENT PRACTICABLE, THE AREAS OF A PARCEL TO BE DISTURBED SHALL BE MINIMIZED.

II. DISTURBED AREAS SHALL BE STABILIZED IN A TIMELY MANNER BY SEEDING OR PLANTING LANDSCAPING MATERIALS.

III. TOPSOIL MOVED DURING SITE WORK SHALL BE STOCKPILED ON SITE IN DESIGNATED AREAS THAT ARE STABILIZED TO PREVENT EROSION AND REUSED IN ACCORDANCE WITH A LANDSCAPE PLAN.

B. REMOVAL OF DEBRIS. ORGANIC MATERIAL (INCLUDING ROOTS, STUMPS, BRUSH, CLEARED OR GRUBBED MATERIALS), RUBBISH AND DEBRIS SHALL BE DISPOSED OF OFF SITE IN A TIMELY MANNER. THE REUSE OF ORGANIC MATERIALS MAY BE ALLOWED IF SAID MATERIALS WILL NOT ADVERSELY AFFECT PLANTINGS, NATURAL AREAS OR BUILDINGS.

C. PROTECTION OF EXISTING PLANTINGS. MAXIMUM EFFORT SHALL BE MADE TO PRESERVE EXISTING VEGETATION ON SITE (ESPECIALLY SPECIMEN TREES).

I. IF SPECIMEN TREES ARE REMOVED, THEY SHALL BE REPLACED IN KIND IN ACCORDANCE WITH A LANDSCAPE PLAN.

II. NO MATERIALS OR TEMPORARY SOIL DEPOSITS SHALL BE PLACED WITHIN THE DRIP LINE OF TREES BEING RETAINED.

III. A PHYSICAL BARRIER SHALL BE INSTALLED AROUND EACH PLANT OR GROUP OF PLANTS THAT ARE TO REMAIN. SAID BARRIER SHALL BE A MINIMUM OF FOUR FEET HIGH, MAINTAINED UNTIL CONSTRUCTION IS COMPLETED AND SHALL NOT BE SUPPORTED BY THE PLANTS THEY ARE PROTECTING.

D. SLOPES. ALL CUTS AND FILLS, TERRACES AND ROW EMBANKMENTS WITH SLOPES GREATER THAN 1:3 SHALL BE LANDSCAPED SO AS TO PREVENT EROSION.

E. ADDITIONAL LANDSCAPING. ALL AREAS OF THE SITE NOT OCCUPIED BY BUILDINGS OR IMPROVEMENTS SHALL BE LANDSCAPED IN ACCORDANCE WITH AN APPROVED LANDSCAPE PLAN.

3. GENERAL PLANTING REQUIREMENTS.

A. ONLY NURSERY-GROWN OR SUITABLE EXISTING VEGETATION SHALL BE USED.

B. VEGETATION SHALL BE PLANTED ACCORDING TO ESTABLISHED HORTICULTURAL STANDARDS.

C. VEGETATION SHALL BE HARDY FOR CLIMATIC ZONES 6/7 AND APPROPRIATE IN TERMS OF FUNCTION AND SIZE.

D. PLANT SPECIES WHICH ARE NATIVE AND REQUIRE MINIMAL WATERING AND FERTILIZATION ARE RECOMMENDED.

4. TREES.

A. SPECIES OF TREES MAY VARY DEPENDING ON OVERALL EFFECT DESIRED AS SHOWN ON A LANDSCAPE PLAN.

B. ONE STREET TREE SHALL BE PLANTED FOR EVERY THIRTY-FIVE (35) FEET OF FRONTAGE.

GENERALLY, STREET TREES SHALL BE OF THE SAME SPECIES EXCEPT TO ACHIEVE SPECIAL EFFECTS.

TREES MAY BE SPACED ALONG THE STREET AT EVERY THIRTY-FIVE (35) FEET AT THE REAR OF SIDEWALK OR MAY BE GROUPED IN ACCORDANCE WITH A LANDSCAPE PLAN.

STREET TREES HAVE BEEN PLACED ALONG SAILORS WAY WHERE FEASIBLE. THERE ARE 2 EXISTING TREES TO REMAIN AND 4 PROPOSED ONES.

SAILORS WAY = 398.66 LF

REQUIRED STREET TREES = 398.66 / 35 = 11.39

THERE ARE 2 EXISTING TREES TO REMAIN AND 4 PROPOSED ONE = 6 TOTAL

PLAINFIELD PIKE = 310.66 LF

REQUIRED STREET TREES = 310.66 / 35 = 9 (8.87)

THERE ARE NO STREET TREES PROPOSED ALONG PLAINFIELD PIKE.

A WAIVER IS REQUESTED FOR 6 STREET TREES ALONG SAILOR WAY AND FOR 9 STREET TREES ALONG PLAINFIELD PIKE.

C. WITH THE EXCEPTION OF ORNAMENTAL TREES, DECIDUOUS TREES SHALL HAVE AT LEAST A TWO AND ONE-HALF-INCH CALIPER AT PLANTING AND A CALIPER OF AT LEAST TWELVE (12) INCHES WHEN FULLY MATURE.

D. SIZE OF EVERGREENS AND SHRUBS MAY VARY DEPENDING ON SETTING AND TYPE OF PLANT MATERIAL.

5. MAINTENANCE.

A. THE APPLICANT SHALL BE RESPONSIBLE FOR MAINTAINING LANDSCAPED AREAS IN A NEAT AND ATTRACTIVE MANNER. SAID AREAS SHALL BE KEPT FREE OF ALL DEBRIS, RUBBISH, WEEDS AND TALL GRASS.

B. THE APPLICANT SHALL BE RESPONSIBLE FOR WATERING PLANTINGS ON A REGULAR BASIS. (THE USE OF UNDERGROUND SPRINKLER OR DRIP IRRIGATION SYSTEMS FOR LANDSCAPED AREAS IS ENCOURAGED.)

C. THE APPLICANT SHALL REMOVE AND REPLACE ALL DEAD OR DISEASED PLANTINGS ANNUALLY.

6. BUFFER STRIPS.

A. ALL DEVELOPMENTS SHALL PROVIDE AN APPROVED YEAR-ROUND BUFFER A MINIMUM OF EIGHT FEET IN HEIGHT, CONSISTING OF FENCING, VEGETATION, BERMS, ROCKS, BOULDERS, MOUNDS OR COMBINATIONS THEREOF, TO:

I. SHIELD ABUTTING PROPERTIES FROM NEGATIVE IMPACTS FROM A DEVELOPMENT;

II. SHIELD A DEVELOPMENT FROM NEGATIVE IMPACTS FROM ABUTTING PROPERTIES;

III. MINIMIZE THE IMPACTS FROM STORM WATER RUNOFF AND FLOODING.

B. BUFFER AREA DIMENSIONS.

I. A MINIMUM TEN (10) FEET WIDE LANDSCAPED STRIP SHALL BE PROVIDED ALONG PROPERTY LINES PARALLEL TO A STREET WHERE PARKING OR CIRCULATION AREAS ABUTS SAID STREET.

A 10 FOOT WIDE LANDSCAPED STRIP IF IS NOT PROVIDED ALONG PLAINFIELD PIKE AND PORTIONS OF SAILORS WAY. A WAIVER IS REQUESTED.

II. A MINIMUM FIVE FEET LANDSCAPE STRIP SHALL BE PROVIDED ALONG SIDE AND REAR PROPERTY LINES WHERE PARKING AND CIRCULATION AREAS ARE ADJACENT TO ABUTTING PROPERTIES.

A MINIMUM FIVE FEET LANDSCAPE STRIP IS PROVIDED ALONG SIDE AND REAR PROPERTY LINES WHERE PARKING AND CIRCULATION AREAS ARE ADJACENT TO ABUTTING PROPERTIES.

III. WHERE A MORE INTENSIVE USE ABUTS A LESS INTENSIVE USE, A 25-FOOT WIDE BUFFER STRIP MAY BE REQUIRED. THE WIDTH OF SAID STRIP TO BE DETERMINED BY THE DESIGN AND DENSITY OF THE BUFFER PROPOSED.

C. PLANTINGS SHALL PROVIDE MAXIMUM PROTECTION TO ABUTTING PROPERTIES AND AVOID DAMAGE TO EXISTING PLANT MATERIALS. EARTHEN BERMS MAY BE USED IN THE BUFFER DESIGN, PROVIDED SIDE SLOPES ARE ADEQUATELY STABILIZED. SAID BERMS MAY BE USED TO CALCULATE EFFECTIVE BUFFER HEIGHT.

D. PLANT MATERIALS SHALL BE SIZED AND PLANTED SO AS TO ACHIEVE A YEAR-ROUND EFFECTIVE BUFFER HEIGHT OF AT LEAST EIGHT FEET WITHIN THREE GROWING SEASONS.

E. BUILDINGS, STRUCTURES, PARKING OR THE STORAGE OF MATERIALS SHALL NOT BE ALLOWED WITHIN A BUFFER AREA.

7. PARKING AREA LANDSCAPING REQUIREMENTS.

A. IN ADDITION TO ANY REQUIRED BUFFER STRIP, A MINIMUM OF TEN (10) SQUARE FEET OF LANDSCAPED AREA SHALL BE PROVIDED WITHIN A PARKING AREA FOR EACH PARKING SPACE IN SAID AREA.

REQUIRED LANDSCAPING PER PARKING SPACE = 10 SF

TOTAL REQUIRED LANDSCAPING = 10 SF 22 SPACES = 220 SF

TOTAL PROPOSED LANDSCAPING = 220 SF

B. A MINIMUM OF TWENTY (20) PERCENT OF A PARKING AREA SHALL BE SHADED BY DECIDUOUS TREES THAT SHALL HAVE A CROWN (CANOPY) OF THIRTY (30) FEET AT MATURITY. SAID TREES SHALL BE SURROUNDED BY AT LEAST ONE HUNDRED (100) SQUARE FEET OF UNPAVED AREA TO PROVIDE FOR GROWTH AND PROTECTION FROM VEHICLES.

MATURE TREE SHADE COVER = (R)(S)(X)5 SF)*3.14 + 706.5 SF/ TREE

PROPOSED PARKING AREA = 3,690 SF (AREA OF 21 NEW PARKING SPACES + 1 NEW HC SPACE)

REQUIRED PARKING AREA TO BE SHADED = 3,690 SF X 0.2 = 738 SF

REQUIRED NUMBER OF TREES = 738 SF/ 706.5 SF = 1.041 2 REQUIRED

PROPOSED NUMBER OF TREES = 7 (GLEDITSIA TRIACANTHOS)

TOTAL UNPAVED AREA REQUIRED AROUND ALL TREES = 100 SF X 7 TREES = 1,400 SF

TOTAL UNPAVED AREA PROPOSED AROUND ALL TREES = 1,400 SF

C. EACH ROW OF PARKING SPACES SHALL BE TERMINATED BY A LANDSCAPED ISLAND NOT LESS THAN SIX FEET WIDE AND TWELVE (12) FEET LONG.

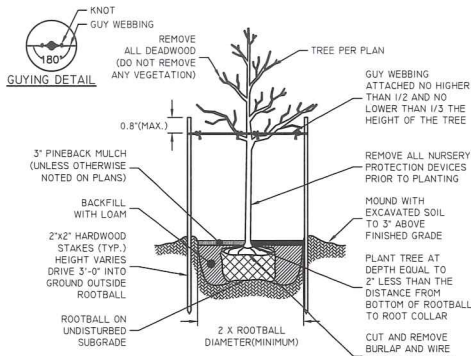
PARKING ROWS ARE TERMINATED BY LANDSCAPED ISLANDS >6 FT X 12 FT WHERE FEASIBLE.

D. A CONTINUOUS LANDSCAPED ISLAND NOT LESS THAN EIGHT FEET WIDE SHALL BE PROVIDED BETWEEN EVERY FOUR ROWS OF PARKING SPACES.

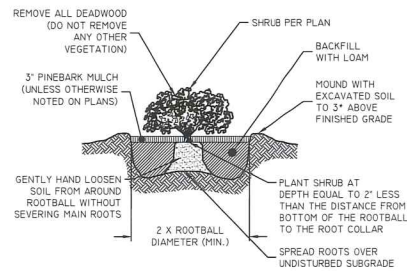
E. LANDSCAPED AREAS SHALL BE PROVIDED AT APPROPRIATE LOCATIONS IN ORDER TO PREVENT LONG, UNINTERRUPTED ROWS OF PARKING.

F. LANDSCAPED ISLANDS SHALL BE PROTECTED FROM ENCROACHMENT BY MOTOR VEHICLES BY A CONTINUOUS RAISED CURB. VEHICLES SHALL BE PRESUMED TO HAVE AN OVERHANG OF THREE AND ONE-HALF FEET. PEDESTRIAN PATHS MAY BE INCORPORATED WITHIN THE LANDSCAPED ISLANDS PROVIDED A MINIMUM DIMENSION OF FOUR FEET, EXCLUSIVE OF PAVED AREAS, IS MAINTAINED.

(ORD. NO. 2012-23, § 1, 9-24-12)

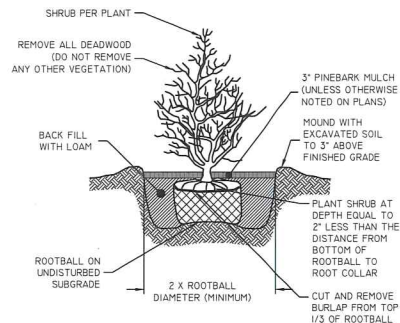
LARGE TREE STAKING AND PLANTING DETAIL
(2" CALIPER AND GREATER)

NOT TO SCALE



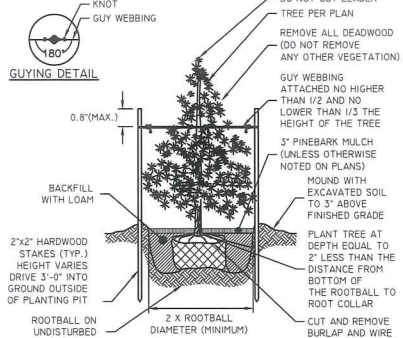
CONTAINER GROWN SHRUB PLANTING DETAIL

NOT TO SCALE

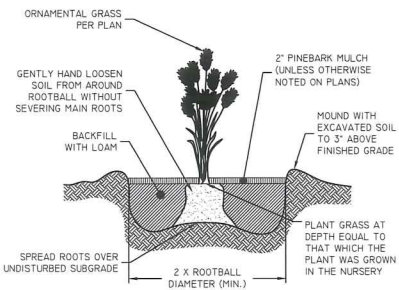


BALL AND BURLAP SHRUB PLANTING DETAIL

NOT TO SCALE

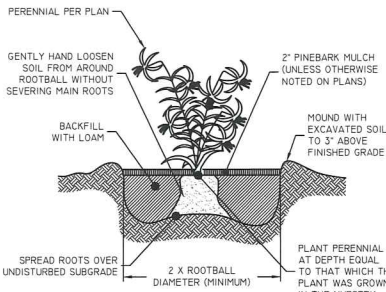
EVERGREEN TREE PLANTING DETAIL
(4'-0" HIGH AND GREATER)

NOT TO SCALE



ORNAMENTAL GRASS PLANTING DETAIL

NOT TO SCALE



PERENNIAL PLANTING DETAIL

NOT TO SCALE

PLANT SCHEDULE					
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT
	CLC	5	CRATAEGUS LAEVIGATA 'CRIMSON CLOUD'	CRIMSON CLOUD HAWTHORN	2/2.5" CAL B&B
	GT	7	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST	2/2.5" CAL B&B
	KP	2	KOELREUTERIA PANICULATA	GOLDEN RAIN TREE	2/2.5" CAL B&B
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT
	TOS	28	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	6" HT MIN
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	CS	4	CORNUS SERICEA	RED TWIG DOGWOOD	30" HT MIN
	HM	9	HYDRANGEA MACROPHYLLA 'ENDLESS SUMMER' TM	BAILMER HYDRANGEA	3-4" HT
	IGS	21	ILEX GLABRA 'SHAMROCK'	INKBERRY	3" HT MIN
	IVR	5	ILEX VERTICILLATA 'RED SPRITE'	RED SPRITE WINTERBERRY	30" HT MIN
	JPN	18	JUNIPERUS PROCUMBENS 'NANA'	SHORE JUNIPER	2 GAL
	RGW	6	RHODODENDRON X 'GUMPO WHITE'	GUMPO WHITE AZALEA	24" SP MIN
	RK	7	ROSA X 'KNOCKOUT' TM	ROSE	24" HT MIN
FOCAL POINT PLANTING	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	EP	9	ECHINACEA PURPUREA	CONEFLOWER	1 GAL
	HF	11	HEMEROCALLIS FULVA	ORANGE DAYLILY	1 GAL @ 24" OC
	PV	6	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	2 GAL
GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	CKF	10	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	2 GAL
	PAH	35	PENNISETUM ALOPECUROIDES 'HADELN'	HADELN DWARF FOUNTAIN GRASS	2 GAL
ANNUALS/PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	HH	12	HEMEROCALLIS X 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	1 GAL

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THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS APPROVED BY A REGISTERED PROFESSIONAL ENGINEER OF RHODE ISLAND.

ENGINEERING. THE ENGINEER'S ONLY WARRANTY IS AS TO THE PREPAREDNESS OF THE ENGINEERING TITLE BLOCK, STAMPED IN REGISTERED ENGINEERING. THE ENGINEER'S ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY.

THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, MATERIALS, AND CONSTRUCTION IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN.

EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF EXISTING UTILITIES. SEE UTILITIES PAGE 20, SHEET 2.

DESIGN BY: R.S.S.

NO.	DATE	DESCRIPTION	BY:
3	12-02-2022	1 DEVELOPMENT PLAN REVIEW SUBMISSION	R.S.S.
2	11-02-2022	2 CITY COUNCIL SUBMISSION	R.S.S.
1	06-26-2022	3 KIDEN SUBMISSION	R.S.S.

LANDSCAPE NOTES & DETAILS

SEASONS CORNER MARKET

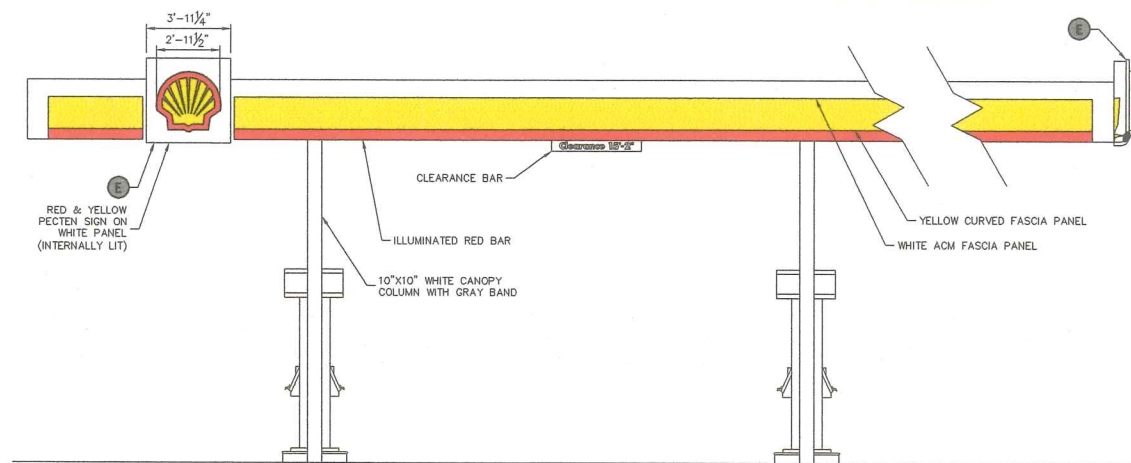
ASSESSOR'S PLAT 36, LOTS 110 & 117

CRANSTON, RHODE ISLAND

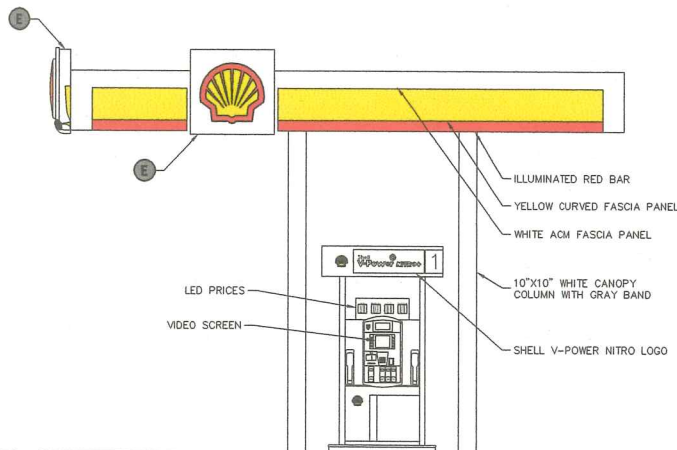
PREPARED FOR: COLBEA ENTERPRISES

695 GEORGE WASHINGTON HIGHWAY, LINCOLN, RHODE ISLAND 02845
TEL 401-943-0005

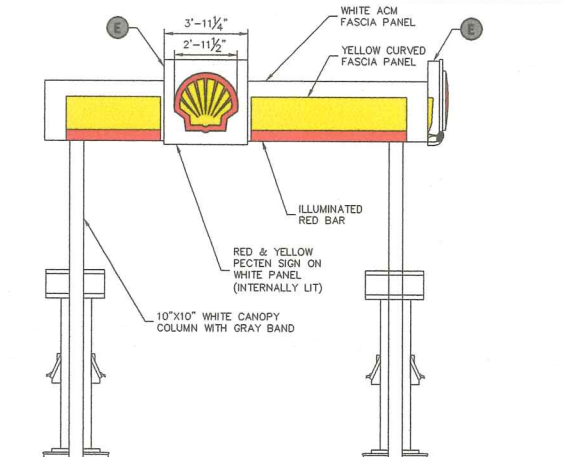
DESIGNED BY: R.S.S.



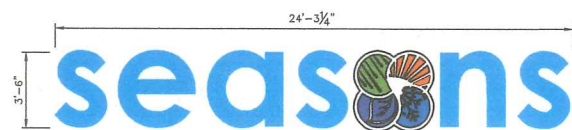
Proposed Front Canopy Elevation
SCALE: 1/4"=1'-0"



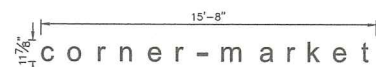
Proposed Side Canopies Elevation
SCALE: 1/4"=1'-0"



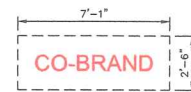
Proposed Diesel Canopy Elevation
SCALE: 1/4"=1'-0"



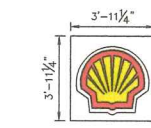
PROPOSED "SEASONS" SIGN
AREA=85.0 S.F.
(QTY. 1)
SIGN IS MADE UP OF INDIVIDUAL LETTERS.



PROPOSED "CORNER MARKET" SIGN
AREA=15.5 S.F.
(QTY. 1)



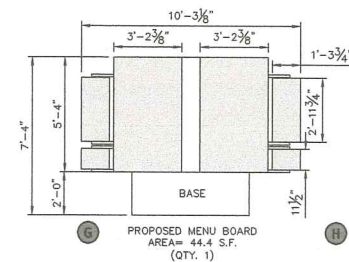
PROPOSED CO-BRAND SIGN
AREA=17.7 S.F.
(QTY. 1)
NOTE: TENANT BRANDING TO BE PER CO-BRAND SPECIFICATIONS



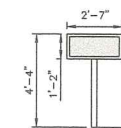
PROPOSED Pecten SIGN
AREA=15.5 S.F.
(QTY. 5)



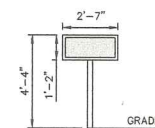
PROPOSED "WELCOME" SIGN
AREA=2.1 S.F.
(QTY. 1)



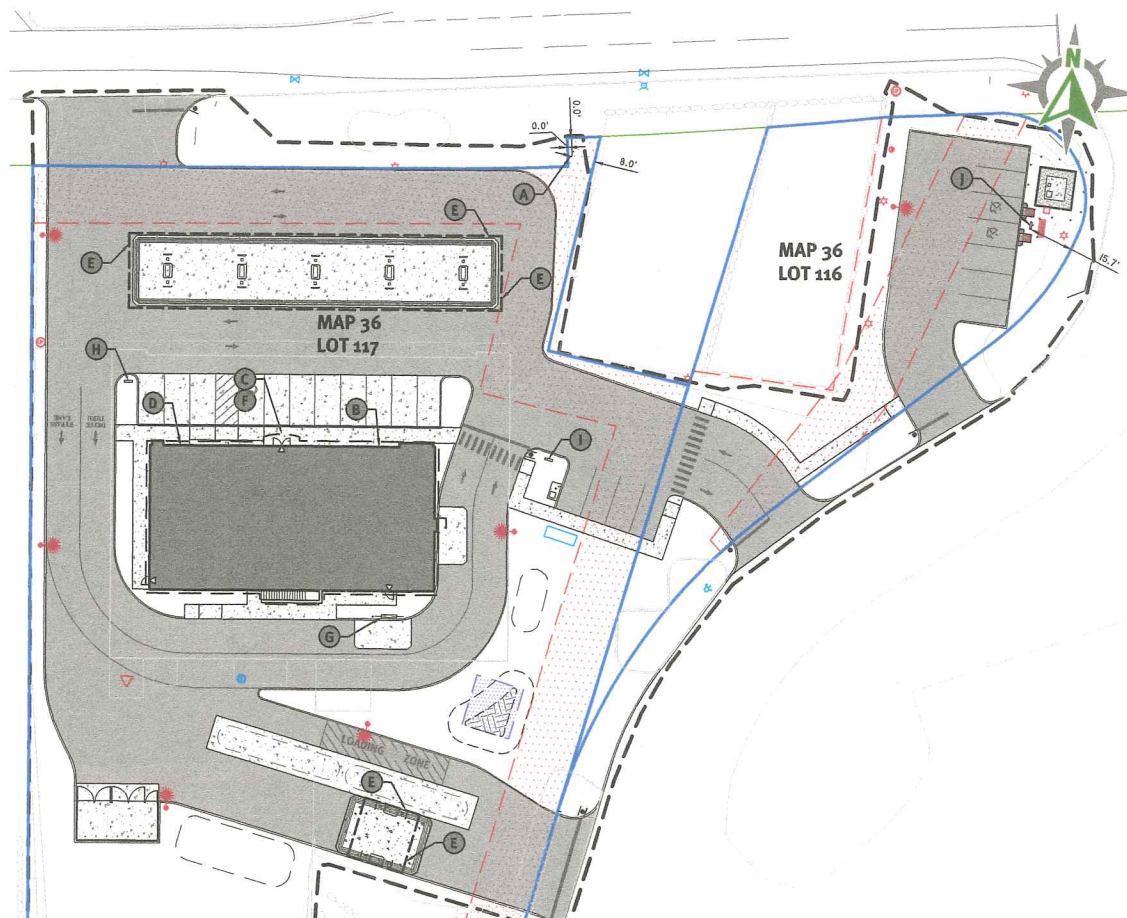
PROPOSED MENU BOARD
AREA= 44.4 S.F.
(QTY. 1)



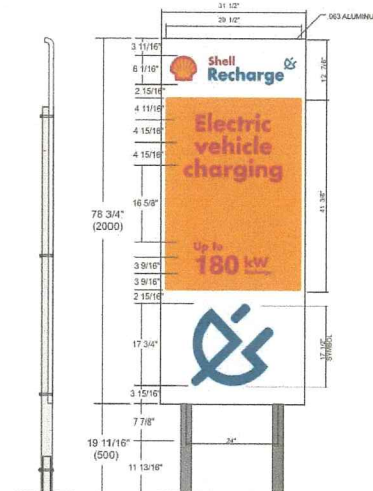
PROPOSED "DRIVE THRU" SIGN
AREA=3.0 S.F.
(QTY. 1)



PROPOSED "EXIT" SIGN
AREA=3.0 S.F.
(QTY. 1)



Site Plan
SCALE: 1"=30'



PROPOSED ELECTRIC VEHICLE CHARGING SIGN
AREA=17.2 S.F.
(QTY. 1)



PROPOSED I.D. SIGN
AREA=133.7 S.F.
(QTY. 1)

Main ID Note:

1. SIGN IS DOUBLE SIDED AND HAS COPY ON EACH SIDE AS SHOWN ABOVE.
2. SIGN IS IDENTICAL ON EACH SIDE.
3. PYLON SIGN AND BASE DESIGN BY FEDERAL HEALTH.

Sign Scope of Work Note:

1. ALL SIGNAGE SHOWN ON THIS SHEET FOR REFERENCE ONLY.
2. INSTALLATION OF SIGN COMPONENTS AND SIGN MATERIALS PROVIDED BY OWNER.
3. FOOTINGS AND POWER SUPPLY BY CONTRACTOR.
4. ALL SIGNS AND ANCILLARY SIGNAGE/BRANDING ITEMS TO BE PROVIDED AND DIRECTED BY COLBEA ENTERPRISES.
5. CANOPY FOOTINGS WILL BE DESIGNED BY CANOPY SUPPLIER IN ACCORDANCE WITH ALL APPLICABLE CODES AND DESIGN STANDARDS. CANOPY FOOTINGS WILL BE PLACED BY GC IN STRICT CONFORMANCE TO FOOTING DESIGN, INCLUDING EXCAVATION, FORMING, ANCHOR BOLTS, STEEL PLACEMENT, DOWELING, CONCRETE PLACEMENT, ETC.
6. MATERIALS AND COLORS DESIGNATED ON THIS PLAN ARE SUBJECT TO CHANGE BASED ON AVAILABILITY AND MOST RECENT SHELL BRAND STANDARDS

ASSESSOR MAP 36 LOT 117					
TOTAL PROPOSED SIGNAGE: 515.6 S.F.					
MARK	DESCRIPTION	SIZE	AREA (SF)	QUAN.	ILLUMINATION TYPE
FREESTANDING SIGNS					
A	I.D. SIGN (DOUBLE-SIDED)	6'-6 3/4" X 20'-4 1/2"	133.7	1	INT FREESTANDING
TOTAL FREESTANDING SIGNAGE: 267.4 S.F.					
MONUMENT SIGNS					
E	MENU BOARD	SEE ABOVE*	44.4	1	INT MONUMENT
*MENU BOARD SIGNAGE DIMENSIONS EXCLUDE THE SIGN BASE AND CENTER POST FROM SIGN AREA TOTAL					
TOTAL MONUMENT SIGNAGE: 44.4 S.F.					
WALL SIGNS					
B	"SEASONS" SIGN	24'-3 1/4" X 3'-6"	85.0	1	INT WALL
C	"CORNER MARKET" SIGN	15'-8" X 0'-11 1/2"	15.5	1	EXT WALL
D	CO-BRAND SIGN	7'-1" X 2'-6"	17.7	1	INT WALL
F	CANOPY SIGN	3'-11 1/4" X 3'-11 1/4"	15.5	5	INT WALL
TOTAL WALL SIGNAGE: 195.7 S.F.					
INCIDENTAL SIGNS					
F	"WELCOME"	4'-3" X 0'-6"	2.1	1	INT INCIDENTAL
H	DRIVE-THRU SIGN	1'-2" X 2'-7"	3.0	1	INT INCIDENTAL
I	EXIT SIGN	1'-2" X 2'-7"	3.0	1	INT INCIDENTAL
TOTAL INCIDENTAL SIGNAGE: 8.1 S.F.					

ASSESSOR MAP 36 LOT 116					
TOTAL PROPOSED SIGNAGE: 17.2 S.F.					
MARK	DESCRIPTION	SIZE	AREA (SF)	QUAN.	ILLUMINATION TYPE
FREESTANDING SIGNS					
I	EV STATION SIGN	6'-7" X 2'-7"	17.2	1	N/A FREESTANDING
TOTAL PROPOSED FREESTANDING SIGNAGE: 17.2 S.F.					

Proposed Sign Schedule

Signage Plan & Elevations SHEET 1 OF 1

Seasons Corner Market

2050 Plainfield Pike
Cranston, RI

Assessors Map 36 Lots 116 & 117

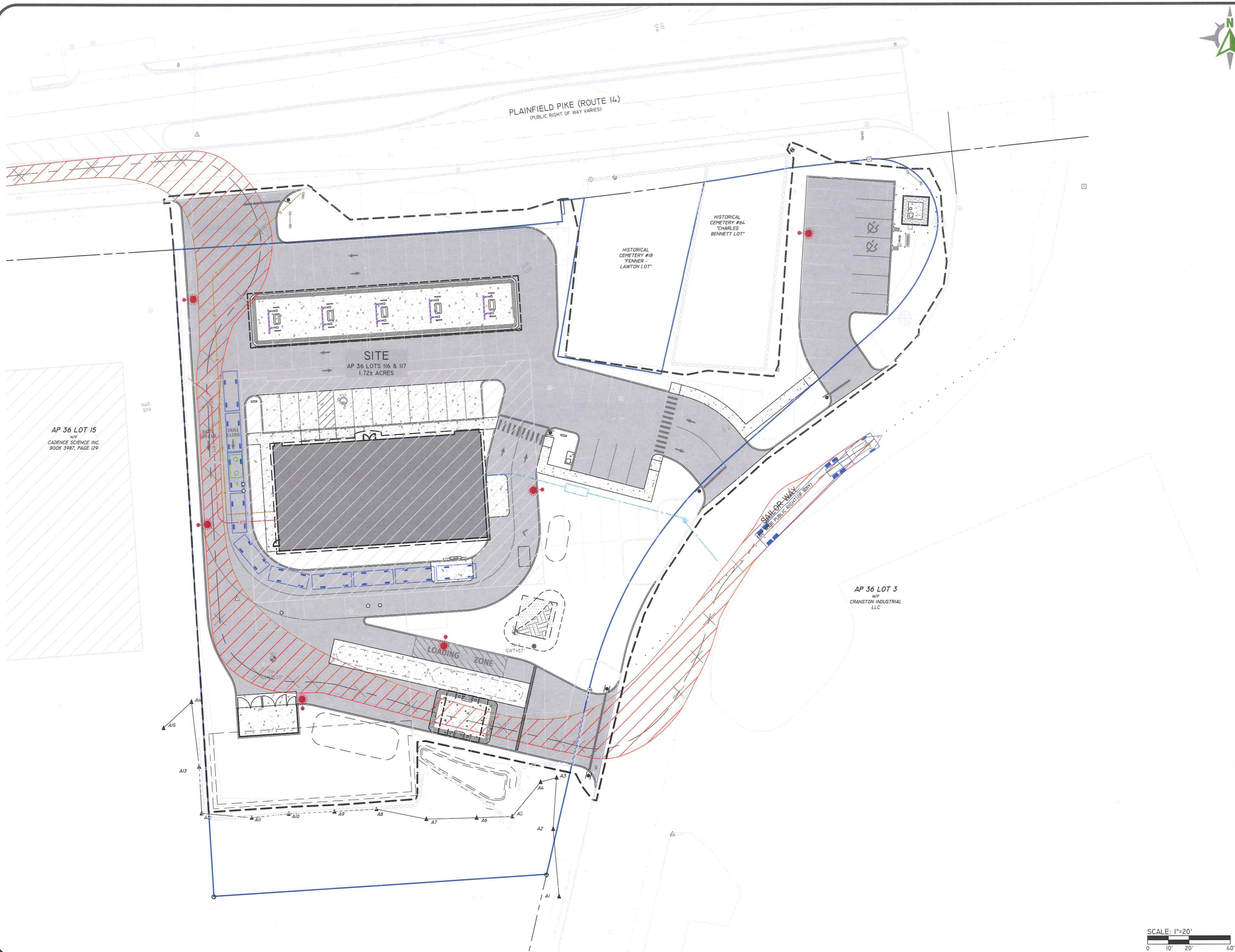
Prepared by:



Scale: Not to Scale

Date: 01/03/2023

Z:\DESA\PROJECTS\2015-09\PLAINFIELD PNEUMATIC\CAD DRAWINGS\2015-09\PLAIN.DWG PLOT1B 12/19/2022



TRUCK TURN PLAN WB-67 - I

SEASONS CORNER MARKET

ASSESSOR'S PLAT 36, LOTS 116 & 117

CRANSTON, RHODE ISLAND

PREPARED FOR:

COLBEA ENTERPRISES

695 GEORGE WASHINGTON HIGHWAY, LINCOLN, RHODE ISLAND 02845

TEL 401-943-0005

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES

UNLESS IT IS ACCOMPANIED BY A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE

ENGINEERING. THIS PLAN SET IS THE PROPERTY OF DIPRETE

ENGINEERING. NO PART OF THIS PLAN SET MAY BE REPRODUCED

OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC

OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY

ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT

THE WRITTEN PERMISSION OF DIPRETE ENGINEERING. THE

CONTRACTOR IS RESPONSIBLE FOR ALL OF THE NEARS, OSHA

CONFORMANCE WITH THE IMPLEMENTATION OF THIS PLAN AND

DESIGN.

EASTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE

BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE USER

OF THIS PLAN SHALL BE RESPONSIBLE FOR OBTAINING ALL

NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE

AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING

ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE

AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING

ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE

NO. DATE DESCRIPTION BY: DESIGN BY: R.S.S.

3 12-06-2022 FIELD ORIENT PLAN REVIEW SUBMISSION R.S.S.

2 11-02-2022 CITY COUNCIL SUBMISSION R.S.S.

1 10-26-2022 FIELD ORIENT PLAN REVIEW SUBMISSION R.S.S.

0 10-26-2022 FIELD ORIENT PLAN REVIEW SUBMISSION R.S.S.

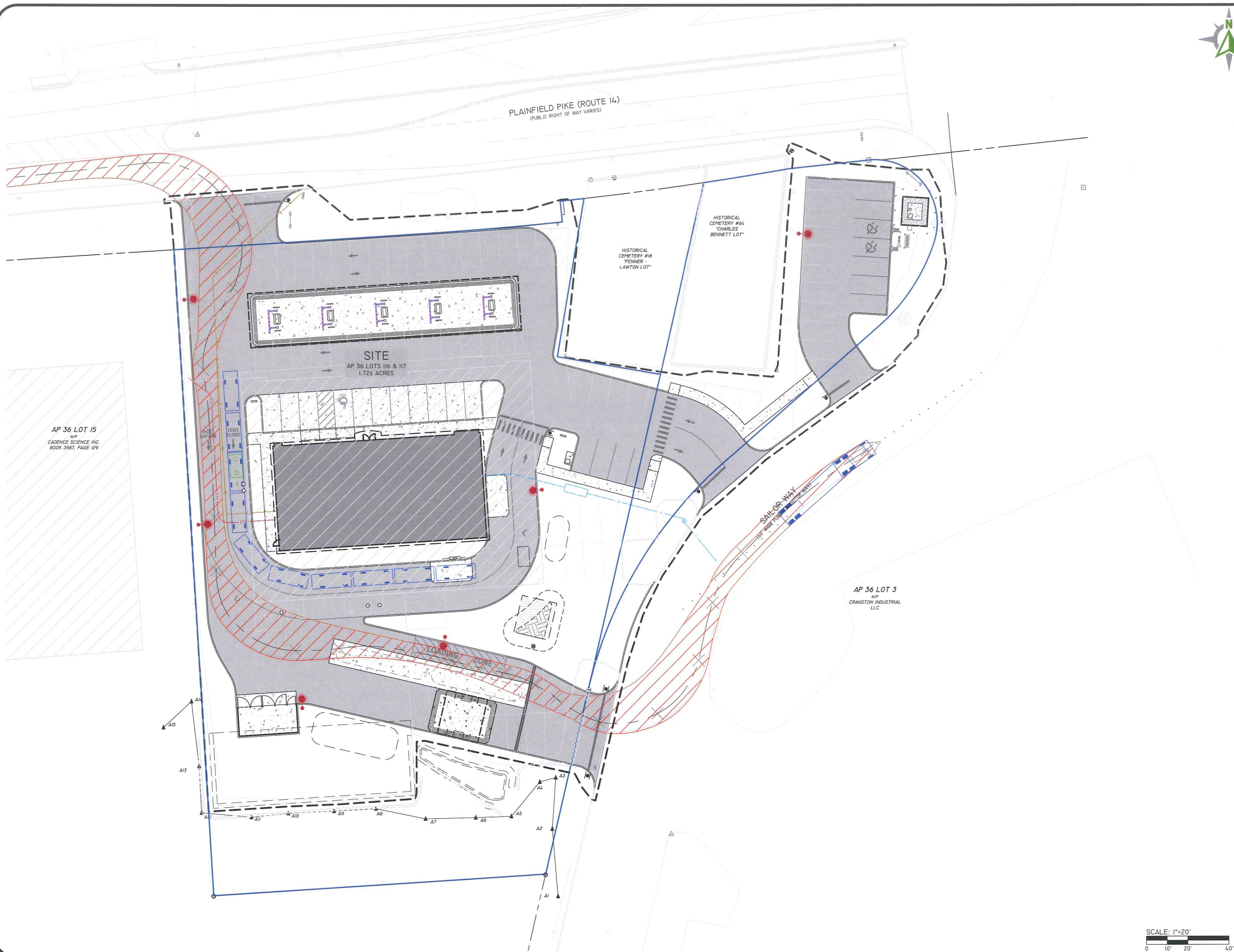
0 10-26-2022 FIELD ORIENT PLAN REVIEW SUBMISSION R.S.S.

0 10-26-2022 FIELD ORIENT PLAN REVIEW SUBMISSION R.S.S.

0 10-26-2022 FIELD ORIENT PLAN REVIEW SUBMISSION R.S.S.

0 10-26-2022 FIELD ORIENT PLAN REVIEW SUBMISSION R.S.S.

Z:\DEPT\PROJECTS\2015-01 PLAINFIELD PNEUMATIC DRAWINGS\2015-01 PLAINFIELD PNEUMATIC.dwg PLOT: 12/12/2022



SCALE: 1"=20'

TRUCK TURN PLAN WB-50 - 2

SEASONS CORNER MARKET

SEASONS CORNER MARKET

SEASONS CORNER MARKET

SEASONS CORNER MARKET

SEASONS CORNER MARKET

SEASONS CORNER MARKET

SEASONS CORNER MARKET

SEASONS CORNER MARKET

SEASONS CORNER MARKET

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS ACCOMPANIED BY A REGISTERED PROFESSIONAL ENGINEER'S SEAL AND SIGNATURE.

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THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, MATERIALS, AND EQUIPMENT USED IN THE CONSTRUCTION OF THIS PROJECT.

DESIGNED BY: R.S.S.

DRAWN BY: R.S.S.

CHECKED BY: R.S.S.

APPROVED BY: R.S.S.

DATE: 12/12/2022

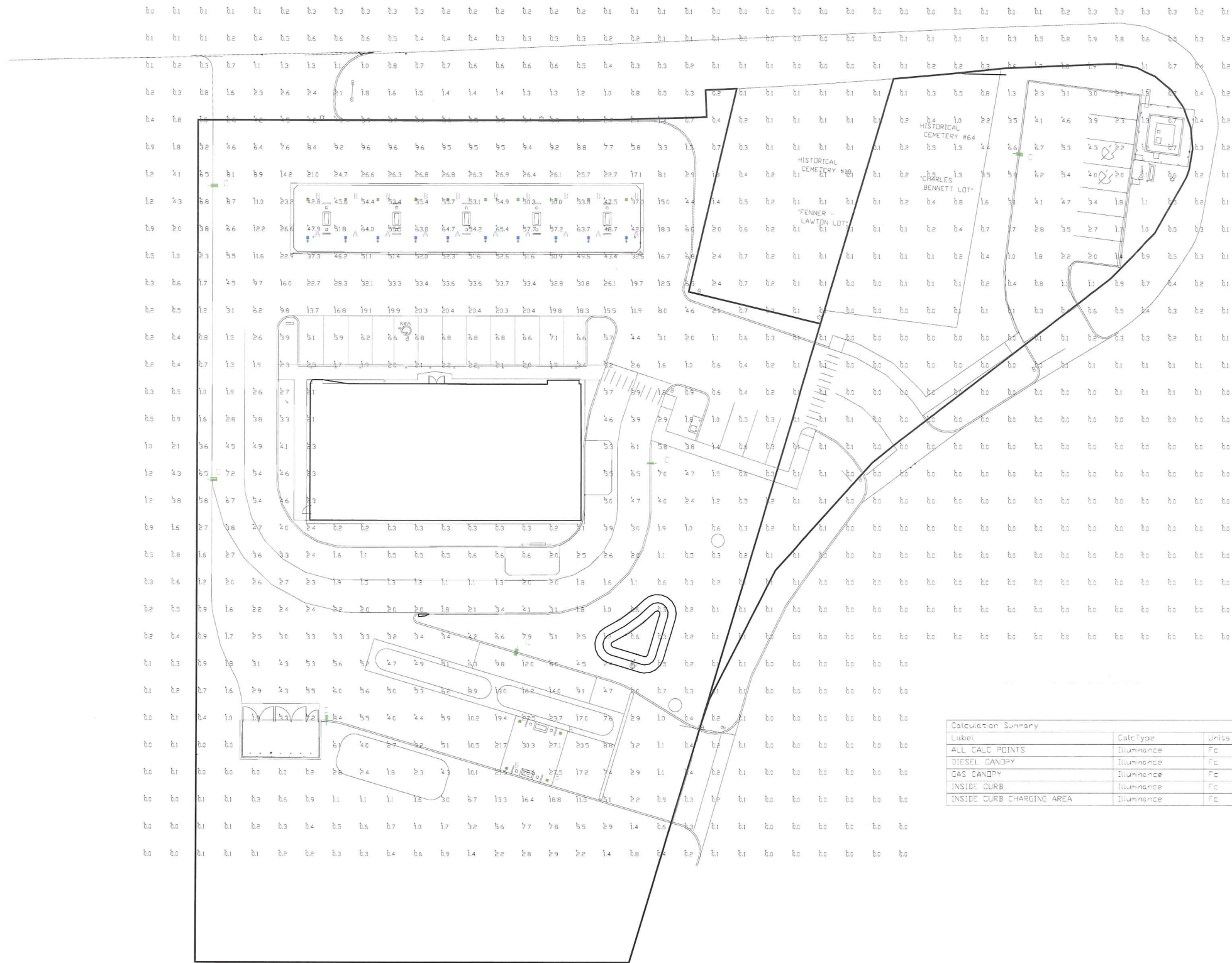
PROJECT: SEASONS CORNER MARKET

LOCATION: SEASONS CORNER MARKET

CLIENT: SEASONS CORNER MARKET

DATE: 12/12/2022

PROJECT: SEASONS CORNER MARKET



Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS	Illuminance	Fc	4.38	65.4	0.0	N.A.	N.A.
DIESEL CANOPY	Illuminance	Fc	28.38	30.3	27.1	1.05	1.12
GAS CANOPY	Illuminance	Fc	51.62	65.4	32.6	1.58	2.01
INSIDE CURB	Illuminance	Fc	7.93	33.7	0.1	79.30	337.00
INSIDE CURB CHARGING AREA	Illuminance	Fc	2.81	6.7	0.1	28.10	67.00

PHOTOMETRIC EVALUATION
NOT FOR CONSTRUCTION

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Luminaire Schedule							LLD	LDD	LLF	Ann Lum Lumens	Ann Watts
Symbol	Qty	Label	Arrangement	Description			1.000	1.000	1.000	23101	188
	10	A	SINGLE	SCV-LED-23L-SCFT-50 MTD @ 15' GAS			1.000	1.000	1.000	13444	90
	6	C	SINGLE	MRM-LED-18L-SIL-FT-50-70CRI-SINGLE-16'POLE-2'BASE			1.000	1.000	1.000	19324	135

Total Project Watts
Total Watts = 3950



STIPULATION FOR REUSE
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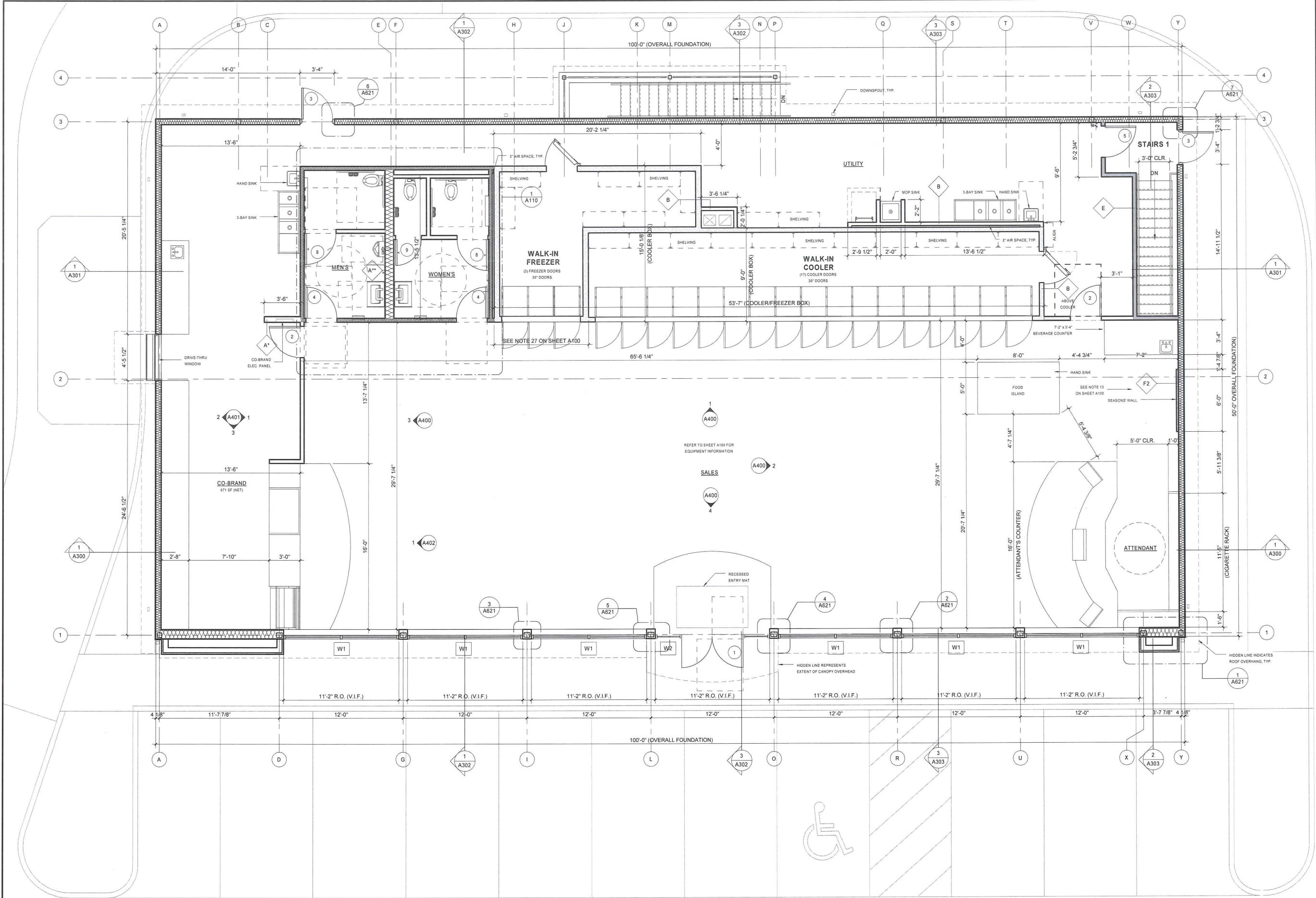
COLBEA ENTERPRISES, LLC
CRANSTON, RI
JOB NUMBER: 42-21-20021

ISSUE BLOCK	
REVISION 1	11/23/22
REVISION 2	11/29/22

CHECKED BY: HAL
DRAWN BY: RTM
DOCUMENT DATE: 12/01/22

NOT FOR CONSTRUCTION

MAIN LEVEL FLOOR PLAN
SHEET:
A101



1
A101 MAIN LEVEL FLOOR PLAN
1/4" = 1'-0"



ISSUE BLOCK	
PLAN REVIEW	12/02/22

CHECKED BY:	SMP
DRAWN BY:	HAL
DOCUMENT DATE:	12/02/22

T/ CUPOLA
ELEV. ± 36'-2 1/2"

T/ RIDGE
ELEV. 28'-7 1/4" ±

T/ DBL PLATE
ELEV. 14'-2 1/2"

3-1/2" HARDIE CORNER
TRIM, COLOR TO MATCH
SIDING, TYP.

42" HIGH GUARDRAIL

T/ MAIN LEVEL SLAB
ELEV. 0'-0"

T/ BASEMENT SLAB
ELEV. -10'-2"

B/ FOOTING
ELEV. -11'-10"

2 LEFT ELEVATION
A2 SCALE: 1/4" = 1'-0"

HIDDEN LINE INDICATES
CONC. FOOTING, TYP.

OWNER SUPPLIED
PREFABRICATED CUPOLA,
G.C. TO INSTALL

ARCHITECTURAL SHINGLES, COLOR:
WEATHERED WOOD BY CERTANTEED
LANDMARK ARCH, TYP.

3'-0"

EPDM ROOFING MEMBRANE

METAL COMPOSITE PANEL
COLOR: DURAGLOSS 5000
"WOODGRAIN" BY ALCOA, TYP.

STONE CAP, COLOR:
TERRACOTTA BY
REALSTONE SYSTEMS

CANOPY WITH ALUMINUM
COVERING, COLOR: BLUE

STONE VENEER, COLOR:
TERRACOTTA BY
REALSTONE SYSTEMS

GRADE, SEE CIVIL
DRAWINGS, TYP.

ALUMINUM DOWNSPOUT
BLACK, TYP.

HARDIEPLANK CEDARMILL
LAP SIDING (COLOR: NAVAJO
BEIGE) WITH 5" EXPOSURE

READY ACCESS DRIVE-THRU
WINDOW, MODEL B0-10

T/ SEASONS' ARCH
ELEV. 20'-0"

METAL COMPOSITE PANEL
COLOR: DURAGLOSS 5000
"WOODGRAIN" BY ALCOA, TYP.

STONE CAP, COLOR:
TERRACOTTA BY
REALSTONE SYSTEMS

T/ DBL PLATE
ELEV. 14'-2 1/2"

CANOPY WITH ALUMINUM
COVERING, COLOR: BLUE

T/ STONE CAP
ELEV. 11'-4"

STONE VENEER, COLOR:
TERRACOTTA BY
REALSTONE SYSTEMS

T/ MAIN LEVEL SLAB
ELEV. 0'-0"

B/ FOOTING
ELEV. -4'-6"

T/ BASEMENT SLAB
ELEV. -10'-2"

B/ FOOTING
ELEV. -11'-10"

1 RIGHT ELEVATION
A2.1 SCALE: 1/4" = 1'-0"

12
6

12
6

ARCHITECTURAL SHINGLES, COLOR:
WEATHERED WOOD BY CERTANTEED
LANDMARK ARCH, TYP.

EQUIPMENT SCREEN BEYOND,
COLOR: ROPE SWING, TYP.

COMPOSITE METAL PANEL, COLOR:
COLORWELD 500 "SILVERSMITH" BY
ALCOA TYP.

CONTINUOUS ALUMINUM
GUTTER, COLOR: BLACK, TYP.

3-1/2" HARDIE CORNER
TRIM, COLOR TO MATCH
SIDING, TYP.

42" HIGH GUARDRAIL

ALUMINUM DOWNSPOUT
BLACK, TYP.

HARDIEPLANK CEDARMILL LAP
SIDING (COLOR: NAVAJO BEIGE)
WITH 5" EXPOSURE

BASEMENT FLOOR LINE,
TYP.

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PREPARED FOR
COLBEA ENTERPRISES, LLC
2050 PLAINFIELD PIKE, CRANSTON, RI
JOB NUMBER: 42-21-20021

ISSUE BLOCK	
PLAN REVIEW	12/02/22

CHECKED BY:	SNP
DRAWN BY:	HAL
DOCUMENT DATE:	12/02/22

SHEET DESCRIPTION
**RENDERED
BUILDING
ELEVATIONS
- LEFT &
RIGHT**

SHEET:
A2



1 REAR ELEVATION
A.3 SCALE: 1/4" = 1'-0"

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31 Hayward Street
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2050 PLAINFIELD PIKE, CRANSTON, RI

JOB NUMBER: 42-21-20021

ISSUE BLOCK	
PLAN REVIEW	12/02/22

CHECKED BY:	SMP
DRAWN BY:	HAL
DOCUMENT DATE:	12/02/22

SHEET DESCRIPTION
**RENDERED
BUILDING
ELEVATIONS
- REAR**

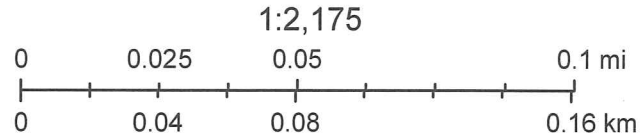
SHEET:
A3

2050 Plainfield Pike 400' Radius Plat 36 Lots 117, 116



12/6/2022, 9:09:34 AM

Parcel ID Labels		Historic Overlay District		A8		C3		MPD
Streets Names		Zoning		A6		C4		S1
	Cranston Boundary	none		B1		C5		Other
	Parcels	A80		B2		M1		
	Buildings	A20		C1		M2		
Zoning Dimensions	A12			C2		EI		



City of Cranston