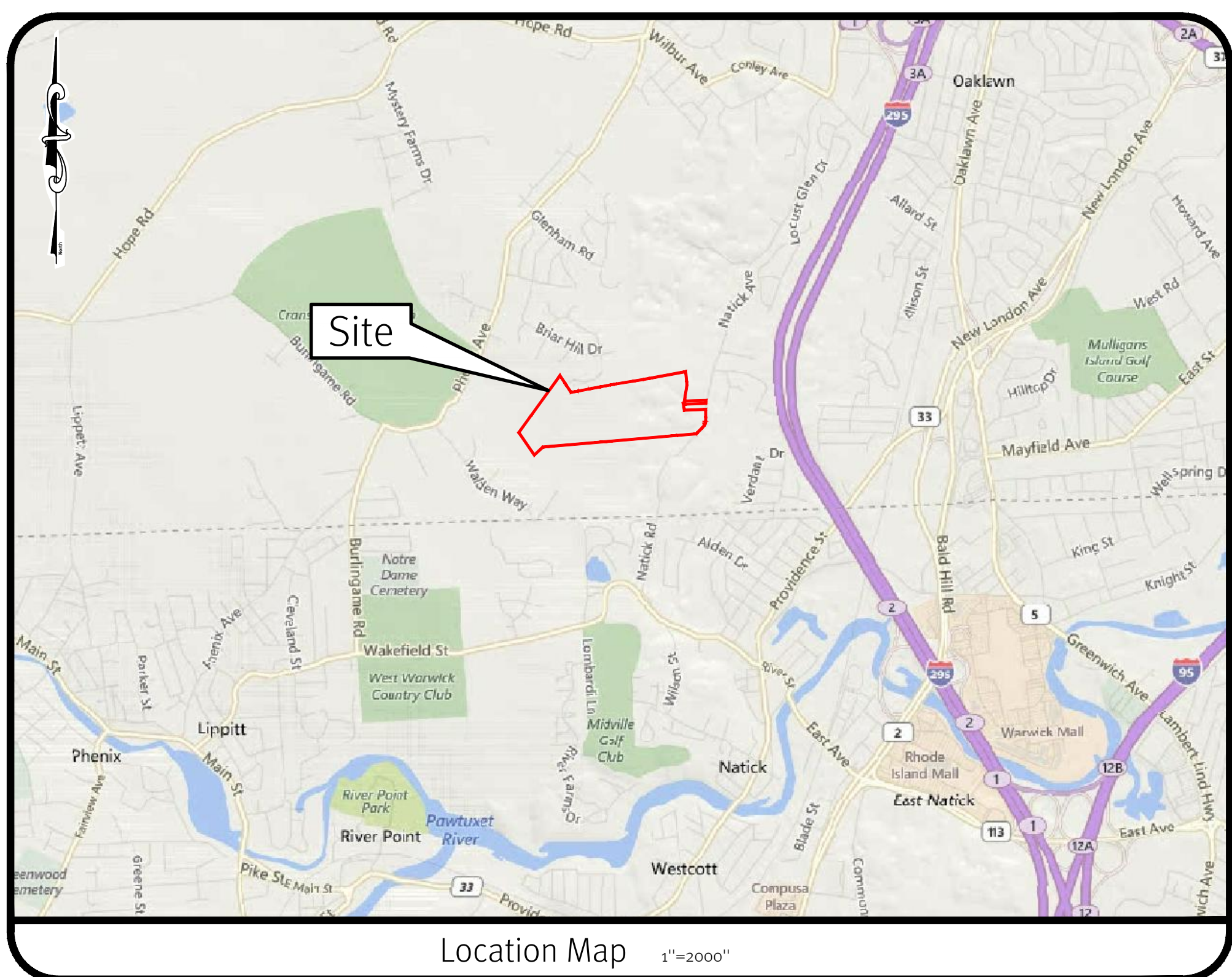


Master Plan Resubmission

Natick Avenue Solar

Located on Natick Avenue  
Cranston, Rhode Island

Assessor's Plat 22-3 Lots 108 & 119



Sheet List Table

- 1
- Cover Sheet
- 2
- Half Mile Radius Aerial & USGS Map
- 3
- General Notes & Legend
- 4
- Existing Conditions Plan
- 5
- Site Layout Plan
- 6
- Site Development Plan
- 7
- Soil Erosion and Sediment Control Plan
- 8
- BMP Details - A & E
- 9
- BMP Details - B & H
- 10
- BMP Details - C, G & F
- 11
- BMP Details - D & Swales
- 12
- Detail Sheet
- 13
- Boundary Survey

- Landscape Plans-
- Prepared by John C. Carter & Co., Inc.
- (1 of 6) Buffer Plan
- (2 of 6) Cross Sections 1, 2, & 3
- (3 of 6) Cross Sections 4, 5, & 6
- (4 of 6) Cross Sections 7, 8, & 9
- (5 of 6) Cross Sections 10, 11, & 12
- (6 of 6) Cross Sections 13 & 14

SESC / O&M

The Soil Erosion and Sediment Control Plan (SESC) and Operations and Maintenance Plan (O&M) are required documents with this plan set and must be maintained by the contractor and owner onsite.

Cover Sheet

Natick Avenue Solar

Assessor's Plat 22-3 Lots 108 & 119

Cranston, Rhode Island

Natick Solar, LLC

17 Metro Center Blvd #2007, Warwick, Rhode Island 02886

tel: 401-371-2001

No.	Date	Description	Drawn By: SEK	Design By: SEK
1	10/13/2022	Master Plan Resubmission		
2	2/17/2023	REDA Permit Modification		
3	12/28/2020	City Planning Comments		
4	1/11/2021	City Planning Comments		

This regulatory submission set shall not be used for construction purposes unless stamped 'Issued for Construction' and signed by a DiPrete Engineering representative.

The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA compliance in the implementation of this plan and design.

KEVIN DEMERS

REGISTERED PROFESSIONAL ENGINEER CIVIL

DiPrete Engineering

Two Stafford Court Cranston, RI 02920

tel: 401-943-1000 fax: 401-464-6006 www.diprete-eng.com

Boston • Providence • Newport



z:\dmain\project\2437-015 natick avenue solar\autocad drawings\2437-015-con.dwg Plotter: 10/17/2022

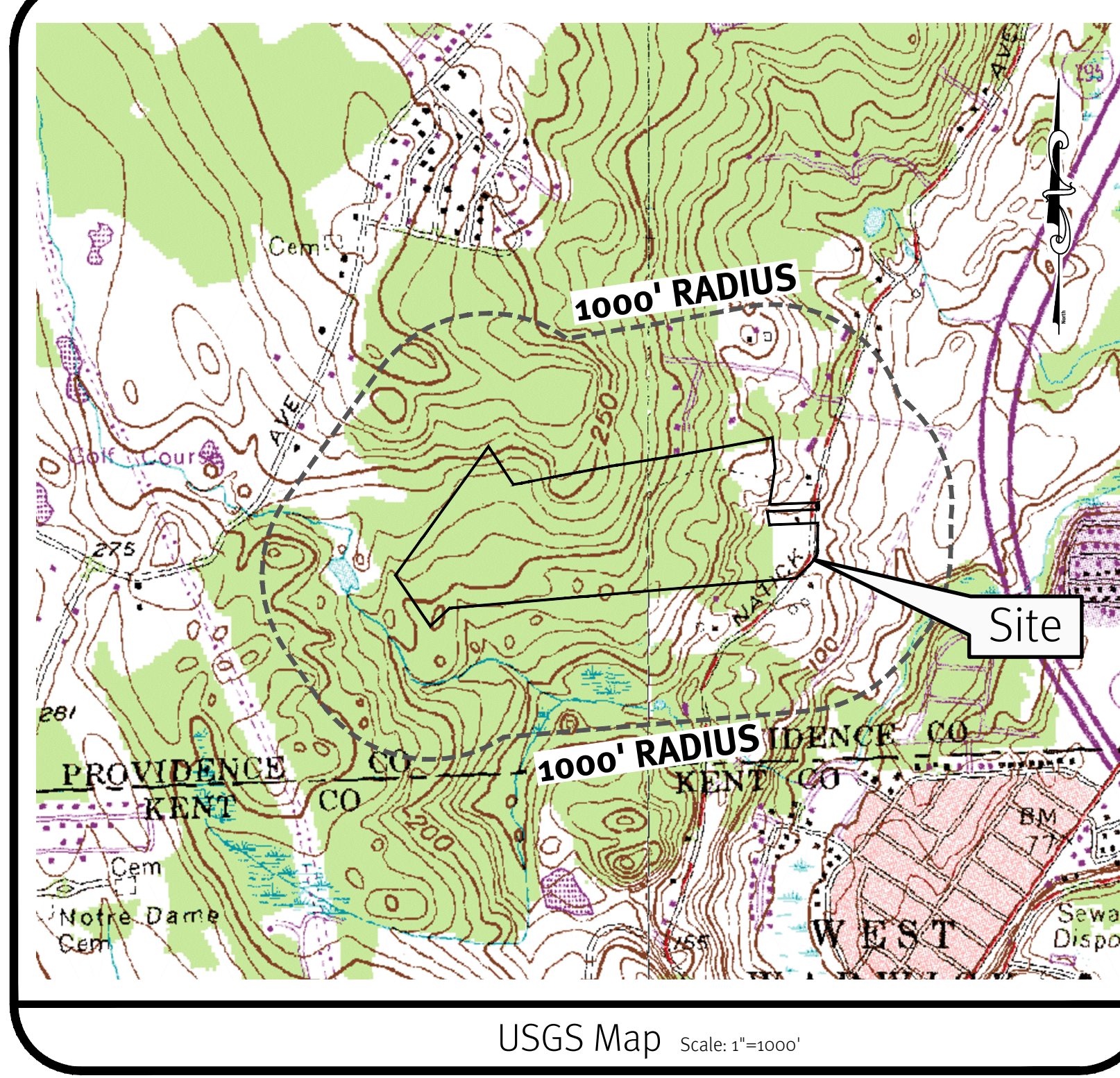
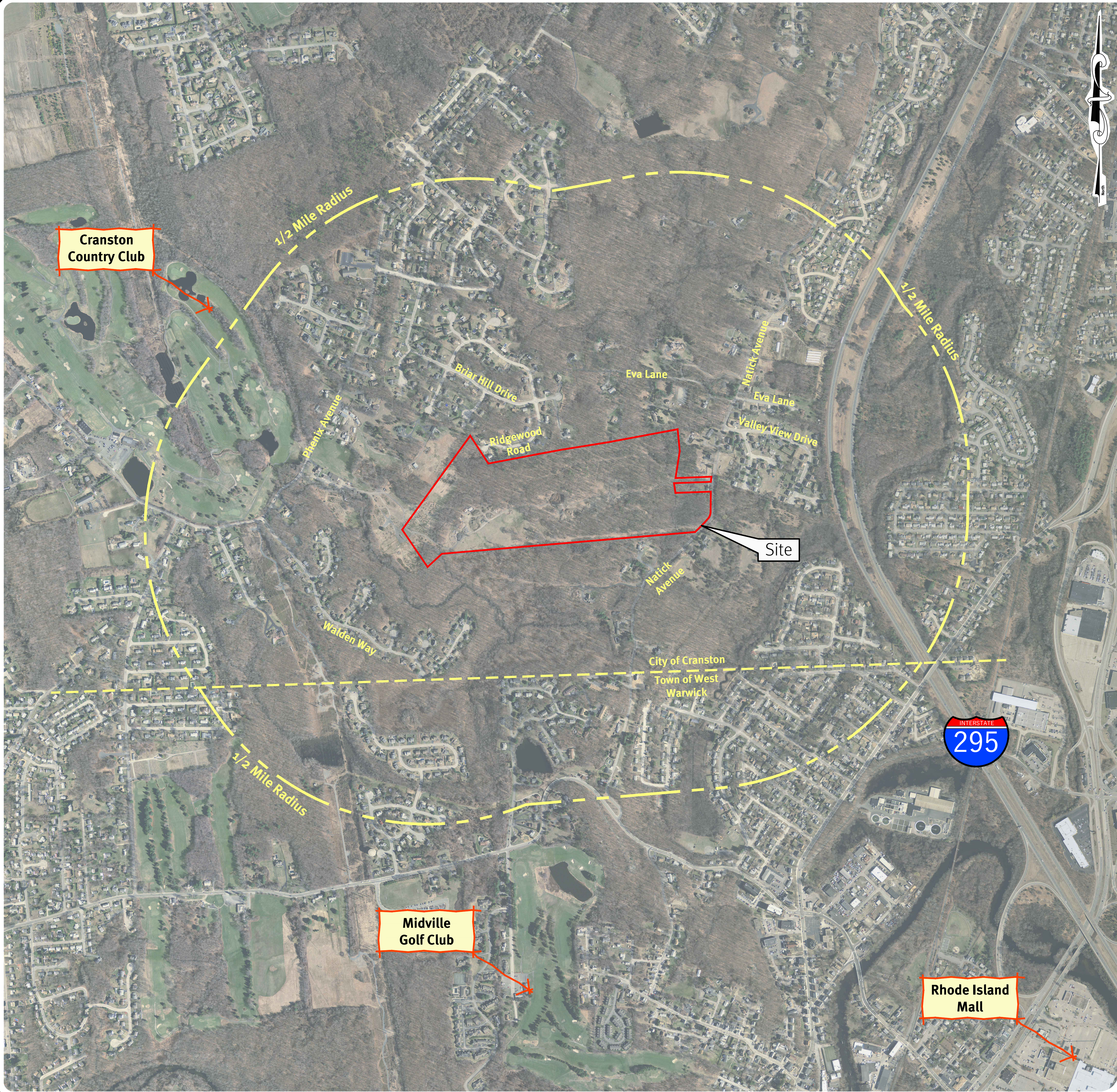
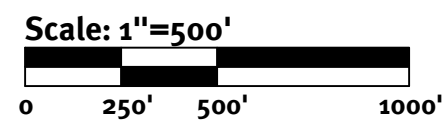


Photo Obtained from RIGIS.



# Half Mile Radius Aerial & USGS Map

## Natick Avenue Solar

Assessor's Plat 22-3 Lots 108 & 119

Cranston, Rhode Island

Client

Natick Solar, LLC


17 Micro Center Blvd #2007, Warwick, Rhode Island 02886

tel: 401-374-2001


This regulatory submission set shall not be used for construction purposes unless stamped 'Issued for Construction' and signed by a DiPrete Engineering representative.

The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA compliance in the implementation of this plan and design.

No.	Date	Description	Drawn By-SEK	Design By-SEK
1	10/17/2022	Master Plan Re-submission	KDE	
2	2/17/2023	REBA Permit Modification	SJM	
3	12/08/2020	City Planning Comments	SJM	
4			By:	

**DiPrete Engineering**

Two Stafford Court Cranston, RI 02920  
tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

**KEVIN DEMERS**

REGISTERED  
PROFESSIONAL ENGINEER  
CIVIL

Boston • Providence • Newport



General Notes:

- THE SITE IS LOCATED ON THE CITY OF CRANSTON ASSESSOR'S PLAT 22-3 LOTS 108 AND 119.
- THE SITE IS APPROXIMATELY 64.03 ACRES AND IS ZONED A-80.
- THE OWNER OF AP 22-3 LOTS 108 AND 119 IS: RONALD ROSSI  
1935 PHOENIX AVE  
CRANSTON, RI 02920
- THIS SITE IS LOCATED IN FEMA FLOOD ZONES X UNSHADED. REFERENCE FEMA FLOOD INSURANCE RATE MAP 44007C0407G & 44007C0246H, MAPS REVISED OCTOBER 2, 2015. (FLOOD PLAIN DESCRIPTIONS SHOWN BELOW)  
  
ZONE X (UNSHADED) - THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. ZONE X ARE AREAS WHERE THERE IS MINIMAL FLOODING.
- THE BOUNDARY LINE AS SHOWN ON THIS PLAN DEPICTS THE RESULTS OF A CLASS I BOUNDARY RETRACEMENT SURVEY AS PERFORMED BY DIPRETE ENGINEERING ASSOCIATES, INC. THIS PLAN IS NOT TO BE CONSTRUED AS A CLASS I BOUNDARY RETRACEMENT SURVEY PLAN AND IS NOT SUITABLE FOR RECORDING AS A CLASS I STANDARD SURVEY PLAN. PLEASE REFER TO THE BOUNDARY SURVEY AT THE END OF THIS PLANSET.
- THE SITE IS NOT WITHIN A:  
GROUNDWATER PROTECTION AREA (RIDEM)  
NATURAL HERITAGE AREA (RIDEM)  
GROUNDWATER PROTECTION OVERLAY DISTRICT (TOWN)
- THE FOLLOWING DOCUMENTS ARE CONSIDERED PART OF THE PROJECT PLANS AND THE CONTRACTOR/OWNER MUST MAINTAIN THESE DOCUMENTS AS PART OF A FULL PLAN SET:
  - SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC). THE SESC CONTAINS THE FOLLOWING:
    - EROSION CONTROL MEASURES
    - SHORT TERM MAINTENANCE
    - ESTABLISHMENT OF VEGETATIVE COVER
    - CONSTRUCTION POLLUTION PREVENTION
    - SEQUENCE OF CONSTRUCTION
  - OPERATION AND MAINTENANCE PLAN (O&M). THE O&M CONTAINS:
    - LONG TERM MAINTENANCE
    - LONG TERM POLLUTION PREVENTION
- THE SITE DOES NOT REQUIRE ANY WATER OR SEWER SERVICE.
- ALL PROPOSED CRUSHED STONE ACCESS PATHS ARE TO BE 20' WIDE.
- NO LIGHTING IS PROPOSED ON-SITE.
- TEST PITS AND SOIL EVALUATIONS WERE COMPLETED BY DIPRETE ENGINEERING ON FEBRUARY 21, 2019.
- WETLANDS ON THIS SITE WERE FLAGGED BY NATURAL RESOURCE SERVICES, INC. (NRS). REFER TO THE NRS REPORT DATED JULY 11, 2018.

Soil Information:

(REFERENCE: USDA NATURAL RESOURCES CONSERVATION SERVICE)

SOIL NAME	DESCRIPTION
CeD	CANTON-CHARLTON-ROCK OUTCROP COMPLEX, 15 TO 35 PERCENT SLOPES
CeC	CANTON AND CHARLTON FINE SANDY LOAMS, VERY ROCKY, 3 TO 15 PERCENT SLOPES
CnB	CANTON AND CHARLTON VERY STONY FINE SANDY LOAMS, 3 TO 8 PERCENT SLOPES
Rf	RIDGEBURY, WHITMAN, AND LEICESTER EXTREMELY STONY FINE SANDY LOAMS
WeB	WAPPING VERY STONY SILT LOAM, 0 TO 8 PERCENT SLOPES

Soil Erosion and Sedimentation Control Notes:

- ALL EROSION CONTROL, TEMPORARY SWALES, TEMPORARY SEDIMENT TRAPS, ETC. MUST BE INSTALLED PER THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK (LATEST EDITION) AND THE SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC).
- TEMPORARY SWALES MUST BE USED TO CONTROL RUNOFF DURING CONSTRUCTION OF THE PROPOSED ROADWAY. TEMPORARY SWALES MUST BE VEGETATED AFTER CONSTRUCTION. EROSION CONTROL MATS MUST BE INSTALLED IF NECESSARY TO PREVENT EROSION AND SUPPORT VEGETATION. AFTER CONSTRUCTION IS COMPLETE AND TRIBUTARY AREAS TO THE SWALES HAVE BEEN STABILIZED, THE TEMPORARY SWALES MUST BE CLEARED AND FINAL CONSTRUCTION, INCLUDING INSTALLATION OF THE GRASS SWALE MUST BE PER THE DESIGN PLANS.
- ONCE THE SEDIMENT TRAPS ARE NO LONGER REQUIRED AND ALL TRIBUTARY AREAS HAVE BEEN STABILIZED, THE SEDIMENT TRAPS MUST BE CLEARED AND BROUGHT TO FINAL DESIGN GRADES.
- SEE SECTION 2.2 OF THE SESC FOR SEQUENCE OF CONSTRUCTION ACTIVITY, AND PROJECT PHASING.
- CONTRACTOR MAY MODIFY SEQUENCE OF CONSTRUCTION WITH APPROVAL FROM DESIGN ENGINEER.
- AS NOTED IN THE OPERATION & MAINTENANCE PLAN, IF SOIL EROSION IS OBSERVED BELOW THE DRIP EDGE OF THE SOLAR PANELS, TURF REINFORCEMENT MUST BE INSTALLED PER ENGINEER-APPROVED MANUFACTURER SPECIFICATIONS, ALONG AND DOWNGRADIENT OF ALL DRIP EDGES WHERE EROSION IS OBSERVED.

General Notes - Gas Pipeline Easement

- PRIOR TO CONSTRUCTION, THE CONTRACTOR MUST MARK OUT AND COORDINATE WITH THE TENNESSEE GAS COMPANY (TGC) PRIOR TO CUTTING ANY TREES ALONG THE SOUTHERN PROPERTY LINE.
- PRIOR TO CLEARING ALONG THE SOUTHERN PROPERTY LINE, CONTRACTOR MUST ERECT A LINE OF ORANGE SNOW FENCE ALL ALONG THE NORTHERN LIMIT OF THE TGC PIPELINE EASEMENT.
- PRIOR TO CONSTRUCTION, CONTRACTOR MUST EMPLOY APPROPRIATE CONSTRUCTION PROTECTION MATS FOR EQUIPMENT TRAVELING OVER THE TGC PIPELINE EASEMENT. CONTRACTOR MUST COORDINATE WITH TGC PRIOR TO INSTALLING CONSTRUCTION PROTECTION MATS.
- WHILE CLEARING ALONG THE SOUTHERN PROPERTY LINE, CONTRACTOR MUST ENSURE THAT FELLEED TREES DO NOT FALL WITHIN THE TGC PIPELINE EASEMENT.
- CONTRACTOR MUST ERECT THE PERMANENT FENCE ALONG THE SOUTHERN PROPERTY LINE AS SOON AS POSSIBLE.
- ANY BLASTING WITHIN 300 FEET OF THE TGC PIPELINE EASEMENT MUST BE APPROVED BY TGC. MAXIMUM ALLOWABLE PEAK PARTICLE VELOCITY IS 4.0 INCHES/SEC.

Grading and Utility Notes:

- THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ON-SITE. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER, THE DIRECTOR OF PUBLIC WORKS, THE TOWN ENGINEER, AND RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR MUST OBTAIN ALL FEDERAL, STATE AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
- CONSTRUCTION TO COMMENCE SPRING 2021 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
- ALL WORK PERFORMED HEREIN IS TO BE GOVERNED BY CURRENT EDITIONS OF THE RHODE ISLAND STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION AND CITY OF CRANSTON STANDARD SPECIFICATIONS AND DETAILS.
- THE CONTRACTOR MUST COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDING. THIS MUST BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DIPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.
- THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE STRUCTURES TO ENSURE SURFACE WATER AND/OR GROUNDWATER ARE DIRECTED AWAY FROM THE STRUCTURE.
- PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES. CONTRACTOR MUST NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- ALL PROPOSED UTILITIES SERVING THE SITE AND BUILDINGS TO BE COORDINATED WITH APPLICANT, ARCHITECT, AND ENGINEER PRIOR TO INSTALLATION.
- ALL TRAFFIC CONTROL MUST CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION INCLUDING ALL REVISIONS.
- ALL RETAINING WALLS AND STEEP SLOPES ARE SHOWN SCHEMATICALLY ONLY AND DIPRETE ENGINEERING IS NOT PROVIDING THE DESIGN OF THESE ITEMS. THE ACTUAL WALLS AND SLOPES ARE TO BE DESIGNED AND BUILT UNDER THE DIRECTION OF A PROFESSIONAL GEOTECHNICAL ENGINEER AND CERTIFIED TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT. SHOP DRAWINGS MUST SUBMITTED PRIOR TO CONSTRUCTION.
- ALL CUT AND FILL AREAS MUST BE CONSTRUCTED UNDER THE DIRECTION OF A PROFESSIONAL GEOTECHNICAL ENGINEER, WITH TESTING AND CERTIFICATION TO BE PROVIDED TO THE OWNER AT THE COMPLETION OF THE PROJECT. DIPRETE ENGINEERING IS NOT PROVIDING THE FILL SPECIFICATIONS, GEOTECHNICAL ENGINEERING, STRUCTURAL ENGINEERING SERVICES, OR SUPERVISION AS PART OF THESE DRAWINGS.
- ALL COMPONENTS OF THE DRAINAGE MUST BE ASBUILT PRIOR TO COVERING. ENGINEER MUST BE NOTIFIED PRIOR TO COVERING SURVEY ASBUILT LOCATIONS. ENGINEER WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.
- NO STOCKPILING OF MATERIAL TO BE LOCATED IN THE RIGHT OF WAY AND NO OPEN TRENCHES ARE TO BE LEFT OVERNIGHT.
- ALL TOPSOIL IN DISTURBED AREAS MUST BE STOCKPILED ON SITE FOR FUTURE USE. NO TOPSOIL SHALL LEAVE THE SITE.
- ALL EXCESS SOIL, TREES, ROCKS, BOULDERS, AND OTHER REFUSE, MUST BE DISPOSED OFF SITE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS. STUMPS MUST BE GROUND ON SITE OR REMOVED.
- NO STUMP DUMPS ARE PROPOSED ON SITE.
- ALL EXISTING UTILITIES SHOWN ARE FROM VISIBLE INFORMATION, DRAWINGS FROM OTHERS, OR INFORMATIONS PROVIDED TO DIPRETE ENGINEERING AND ARE SUBJECT TO CHANGE. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM FOREMENTIONED PLANS OF RECORD AND ARE APPROXIMATE ONLY. PRIOR TO CONSTRUCTION, THE PROPER UTILITY ENGINEERING DEPARTMENTS MUST BE CONTACTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES MUST BE DETERMINED IN THE FIELD BY THE CONTRACTOR. CAN THE D SAFE CENTER TOLL FREE AT 1-888-344-7233 IN MA, ME, NH, RI, & VT PRIOR TO EXCAVATION. NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO EXCAVATION. ANY DAMAGE TO UTILITIES WHICH ARE SHOWN ON THE PLANS OR DETAILED BY DIG SAFE MUST BE THE SITE CONTRACTORS RESPONSIBILITIES.
- IF CONCRETE TRUCKS ARE WASHED OUT ON-SITE, ALL WASHOUT MUST BE COMPLETED IN THE DESIGNATED CONCRETE WASHOUT AREA.
- ALL DRAINAGE PIPE INSTALLED WITHIN THE SEASONAL HIGH GROUNDWATER TABLE MUST BE WATER TIGHT.

Lidar Note:

CONTOUR DATA SHOWN ON THIS PLAN CONFORMS TO A T-4 TOPOGRAPHICAL SURVEY STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS. SAID DATA IS BASED ON ELEVATION INFORMATION THAT WAS COLLECTED WITH AIRBORNE LIDAR TECHNOLOGY FOR THE ENTIRE AREA OF RHODE ISLAND BETWEEN APRIL 22 AND MAY 6, 2011 AS PART OF THE NORTHEAST LIDAR PROJECT. THIS DATA'S POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED BY DIPRETE ENGINEERING AND IS SUBJECT TO CHANGES AN AUTHORITATIVE FIELD SURVEY MAY DISCLOSE.

Dimensional Regulations:

CURRENT ZONING:	A-80
MINIMUM LOT AREA:	80,000 SF
MINIMUM FRONTAGE AND LOT WIDTH:	200'
MINIMUM FRONT YARD:	40'
MINIMUM SIDE YARD:	20'
MINIMUM REAR YARD:	100'

Final Conditions of Approval:

- THE APPLICANT WILL WORK WITH THE TENNESSEE GAS PIPELINE (TGP) TO ENSURE THAT THE PROJECT WILL BE CONSISTENT WITH THE TERMS AND CONDITIONS OF THE EASEMENT.
- THE APPLICANT SHALL USE REASONABLE EFFORTS TO REMOVE LEDGE OR ROCK BY MECHANICAL MEANS. ONLY LEDGE THAT IS TO BE REUSED AS PART OF THE PROJECT ON-SITE MAY BE PROCESSED ON-SITE. ANY LEDGE NOT BEING UTILIZED AS STATED ABOVE SHALL NOT BE PROCESSED BEFORE BEING REMOVED FROM THE SITE. PROCESSING OF LEDGE/ROCK CRUSHING SHALL BE LIMITED TO THE HOURS BETWEEN (9AM) AND (5PM) MONDAY-FRIDAY AND SHALL BE PROHIBITED ON WEEKENDS. NOTHING HEREIN SHALL PROHIBIT THE USE OF BLASTING TO REMOVE NECESSARY LEDGE.
- THE ENTIRE PERIMETER FENCING SHALL PROVIDE FOR AT LEAST A 6-INCH GAP BETWEEN THE GROUND AND BOTTOM OF THE FENCING TO PROVIDE ADEQUATE WILDLIFE PASSAGE FOR SMALLER SPECIES CONSISTENT WITH THE RIDEM APPROVAL. THE FENCING AND THE FENCING GAP SHALL REMAIN FOR THE LIFE OF THE SOLAR FACILITY. BARBED WIRE OR SIMILAR IS STRICTLY PROHIBITED.
- PLANTING AREA E SHALL BE TRIMMED TO A HEIGHT OF NO LESS THAN 18'.
- PLANTING AREA D SHALL BE EXTENDED TO THE AREA INDICATED AS PLANTING AREA F ON THE LANDSCAPE PLANS, BETWEEN THE PROPOSED FENCE AND THE ACCESS ROAD. THE MIXTURE OF PLANTS WILL BE CONSISTENT WITH AREA D BUT NO WHITE PINES WILL BE INCLUDED. THIS CHANGE SHALL BE REFLECTED IN THE FINAL PLAN SUBMISSION AND SHALL BE SUBJECT TO THE CITY-HIRED LANDSCAPE ARCHITECT'S APPROVAL AT THE TIME OF SUBMISSION TO VERIFY THE TERMS OF THIS CONDITION.
- THE LANDSCAPE PLAN SHALL BE RECORDED WITH AND MADE PART OF THE APPROVED AND RECORDED FINAL PLAN.
- THE APPLICANT'S CIVIL ENGINEER SHALL CERTIFY IN WRITING THAT THE SITE HAS BEEN CLEARED AND GRADED IN SUBSTANTIAL CONFORMANCE WITH THE FINAL PLAN. SAID CERTIFICATION SHALL BE SUBMITTED TO THE PLANNING DIRECTOR.

Final Conditions of Approval (Continued):

- AFTER THE CLEARING AND GRADING HAS BEEN CERTIFIED TO BE IN COMPLIANCE WITH THE FINAL PLAN BUT PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OF THE SOLAR PANELS AND EQUIPMENT, A CITY-HIRED LANDSCAPE ARCHITECT, PAID FOR BY THE APPLICANT, SHALL INSPECT THE SITE WITH THE APPLICANT'S LANDSCAPE ARCHITECT AND OTHER NECESSARY PROFESSIONALS TO VERIFY THE CONSTRUCTABILITY OF THE LANDSCAPE PLAN WITH CONSIDERATION TO THE SITE CONDITIONS AND TO HELP COORDINATE THE PLACEMENT OF PLANTINGS AND OVERALL IMPLEMENTATION OF THE LANDSCAPE PLAN.
- AT THE EXPENSE OF THE APPLICANT, A CITY'S CHOSEN LANDSCAPE ARCHITECT SHALL CONDUCT ANNUAL INSPECTIONS OF THE SITE FOR THE NEXT THREE YEARS TO MONITOR CONSISTENCY OF THE INSTALLATION WITH THE APPROVED PLANS AND SUSTAINABILITY OF THE BUFFER. ONCE THE LANDSCAPING HAS BEEN INSTALLED, THE APPLICANT SHALL SUBMIT AN 'AS-BUILT' PLAN TO THE PLANNING DEPARTMENT ACCURATELY DEPICTING THE FINAL PLANTING LOCATIONS AND MATERIALS. THE AS-BUILT PLAN SHALL BE ACCOMPANIED BY DOCUMENTATION ITEMIZING ANY/ALL DEVIATIONS FROM THE FINAL APPROVED LANDSCAPING PLAN. AN INSPECTION SHALL BE CONDUCTED BY A CITY-HIRED LANDSCAPE ARCHITECT AFTER INSTALLATION OF THE PLANTINGS UPON RECEIPT OF THE AS-BUILT PLAN, WHO WILL SUBMIT A REPORT ON THE FINDINGS OF THE INSPECTION TO THE PLANNING DEPARTMENT WITHIN FIFTEEN (15) DAYS OF THE INSPECTION. THE CITY-HIRED LANDSCAPE ARCHITECT SHALL CONDUCT TWO MORE ANNUAL INSPECTIONS FOR A TOTAL OF THREE (3) INSPECTIONS. AFTER EACH INSPECTION, ANY TREES OR SHRUBS FOUND TO BE DEAD OR WITH UNSATISFACTORY GROWTH SHALL BE REPLACED, AND IN SEEDED AREAS, THIN COVER OR BARE GROUND GREATER THAN 10 SQUARE FEET SHALL BE RESEDED.
- DURING THE INSPECTION PROCESS DESCRIBED IN THESE CONDITIONS, SHOULD THE CITY-HIRED LANDSCAPE ARCHITECT FIND THAT ADDITIONAL PLANTINGS ARE NECESSARY TO PROVIDE AN EFFECTIVE AND SUSTAINABLE BUFFER, WHILE TAKING INTO ACCOUNT THAT THE PLANTING WILL NEED TIME TO GROW AND MATURE, THE CITY-HIRED LANDSCAPE ARCHITECT SHALL HAVE THE AUTHORITY TO REQUIRE THE INSTALLATION OF ADDITIONAL PLANTINGS TO BE PAID FOR BY THE APPLICANT/OWNER, NOT TO EXCEED A TOTAL OF 10% OF THE PLANTINGS QUANTIFIED IN THE APPROVED FINAL PLAN. THIS AUTHORITY SHALL BE APPLICABLE DURING THE PRE-INSTALLATION INSPECTION AND SHALL EXPIRE AFTER THE CONFIRMATION OF COMPLIANCE WITH THE THIRD ANNUAL INSPECTION. IF CHANGES/PLANTINGS ARE REQUIRED, THE APPLICANT SHALL SUBMIT A REVISED AS-BUILT PLAN REFLECTING THE CHANGES.
- THE LANDSCAPING SHALL BE INSTALLED, THE FIRST ANNUAL INSPECTION SHALL BE COMPLETED AND ANY ADDITIONAL PLANTINGS REQUIRED BY THE CITY-HIRED LANDSCAPE ARCHITECT MUST BE INSTALLED, AND AN AS-BUILT MUST BE SUBMITTED TO THE PLANNING DEPARTMENT AND BUILDINGS & INSPECTIONS DEPARTMENT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF COMPLETENESS.
- FOR EACH INSPECTION (4 IN TOTAL - THE PRE-INSTALLATION INSPECTION PER CONDITION #8 AND 3 ANNUAL INSPECTIONS PER CONDITION #9), THE CITY-HIRED LANDSCAPE ARCHITECT SHALL SUBMIT A REPORT TO THE PLANNING DEPARTMENT AND BUILDINGS & INSPECTIONS DEPARTMENT SUMMARIZING HIS/HER INSPECTION AND FINDINGS/OBSERVATIONS. THESE REPORTS SHALL BE PUBLIC DOCUMENTS.
- THE CITY-HIRED LANDSCAPE ARCHITECT SHALL PRESENT THE CONTENTS OF THE ANNUAL INSPECTION REPORTS TO THE PLAN COMMISSION AS INFORMATIONAL MEETING ITEMS (NOT PUBLIC HEARINGS) AT THE APPLICANT/OWNER'S EXPENSE. UPON RECOGNITION THE AS-BUILT PLAN IS CONSISTENT WITH THE FINAL PLAN, AND ANY REQUIRED CHANGES AS APPLICABLE, AS DETERMINED BY THE CITY-HIRED LANDSCAPE ARCHITECT DURING THE INFORMATION MEETING, THE PLANNING DEPARTMENT WILL RECORD THE AS-BUILT PLAN WITH LAND EVIDENCE AS A MINOR CHANGE TO THE FINAL PLAN.
- AN INTEREST-BEARING ESCROW ACCOUNT IN THE AMOUNT OF THIRTY-FIVE THOUSAND DOLLARS \$35,000 SHALL BE ESTABLISHED FOR MAINTENANCE FOR THE LIFE OF THE LANDSCAPING FOR THE PROJECT (INITIAL LEASE PERIOD AND ALL EXTENSIONS). THE ACCOUNT WILL ONLY BE UTILIZED IF THE APPLICANT/OWNER IS NOT MAINTAINING THE LANDSCAPE BUFFER PURSUANT TO CONDITIONS SET FORTH BY THIS APPROVAL AND IS NOT SATISFACTORILY RESPONSIVE TO THE CITY'S CORRESPONDENCE REQUIRING THE SITE BE BROUGHT INTO COMPLIANCE AS DETERMINED BY THE CITY'S PLANNING DIRECTOR IN COORDINATION WITH THE CITY ARBORIST. THE OWNER SHALL GRANT THE CITY AND/OR CITY-HIRED PERSONNEL ACCESS TO THE PROPERTY TO CONDUCT SUCH WORK AS IS APPROPRIATE. IF FUNDS ARE WITHDRAWN BY THE CITY IN ACCORDANCE WITH THIS CONDITION, THE ACCOUNT SHALL BE REPLENISHED BY THE APPLICANT/OWNER WITHIN 60 DAYS OF WRITTEN NOTICE BY THE CITY. ALL EFFORTS WILL BE MADE BY THE CITY, INCLUDING IMPOSING LIENS, IF NECESSARY, TO REPLENISH THE ACCOUNT. UPON THE COMPLETION OF DECOMMISSIONING OF THE SOLAR PROJECT THE REMAINING BALANCE IN THE ESCROW ACCOUNT WILL BE RETURNED TO THE APPLICANT/OWNER.
- FOR THE LIFE OF THE PROJECT, THE APPLICANT/OWNER SHALL MAINTAIN REQUIRED PLANTINGS AND BUFFERS, AS REFLECTED IN THE FINAL PLAN AND MINOR CHANGES. THE APPLICANT SHALL SUBMIT A VEGETATIVE MAINTENANCE PLAN AS PART OF THE FINAL PLAN APPLICATION SUBMITTAL TO BE REVIEWED BY A CITY-HIRED LANDSCAPE ARCHITECT AT THE APPLICANT'S EXPENSE.
- THE APPLICANT SHALL INSTALL AND MAINTAIN A MINIMUM OF 4"-6" OF SUITABLE SEED BED MATERIAL WHERE PLACED ON EXISTING SUBSOIL, AND INSTALL AND MAINTAIN A MINIMUM OF 6" OF SUITABLE SEED BED MATERIAL ON AREAS WITHOUT EXISTING SUBSOIL. THE CHARACTER OF THE MATERIAL AS 'PLANTABLE SOIL' SHALL BE AS INDICATED IN THE PLANTING DETAIL. THE AREA WITHIN THE FENCE SHALL BE SEEDED WITH 'LOW SOW GROWING MIX' AND DISTURBED AREAS OUTSIDE THE FENCE AREA (EXCEPT AS OTHERWISE SPECIFIED BY THE DEM APPROVAL) WILL BE SEEDED WITH A MORE POLLINATOR AND WILDLIFE BENEFICIAL MIX DESIGNATED AS 'SOLAR SURROUND MIX' AS NOTED IN THE LANDSCAPE PLANS. THESE REQUIREMENTS SHALL BE CLEARLY REFLECTED IN THE FINAL LANDSCAPE PLAN. THIS CONDITION SUPERSEDES MASTER PLAN CONDITION OF APPROVAL #11.
- THE APPLICANT SHALL BE RESPONSIBLE TO REINSTALL ALL STREET LIGHTS DISTURBED BY THE INTERCONNECTION.
- CONTROL OF GROWTH UNDER THE PANELS SHALL BE LIMITED TO MECHANICAL MEANS (MOWING). NO HERBICIDES OR OTHER CHEMICALS MEANS MAY BE USED TO CONTROL GROWTH UNDER THE PANELS.
- THE APPLICANT SHALL COMPLY WITH THE STATE FIRE MARSHALL'S REGULATIONS, AS AMENDED, FOR ANY BLASTING TO OCCUR ASSOCIATED WITH THE PROJECT.
- THE PROJECT SHALL BE IN COMPLIANCE WITH EXPIRED CODE SECTION 17.24.020 - SOLAR POWER PERFORMANCE STANDARD WHICH WAS IN EFFECT UPON VESTING OF THIS PROJECT APPLICATION.
  - SITE PREPARATION. CLEARING OF NATURAL VEGETATION SHALL BE LIMITED TO WHAT IS NECESSARY FOR THE CONSTRUCTION AND OPERATION OF THE SOLAR POWER FACILITY. TOP SOIL WILL NOT BE REMOVED FROM THE SITE. TOP SOIL WILL NOT BE DISTURBED EXCEPT AS REQUIRED FOR INSTALLATION OF THE FACILITY.
  - LIGHTING. LIGHTING OF SOLAR POWER FACILITIES SHALL BE LIMITED TO REQUIREMENTS FOR SAFETY AND OPERATION AND SHALL NOT SHINE LIGHT ONTO ABUTTING PROPERTIES.
  - NOISE. APPLICANTS FOR A BUILDING PERMIT TO CONSTRUCT A SOLAR POWER FACILITY MUST SUBMIT A NOISE STUDY AS PART OF THEIR APPLICATION. THE NOISE STUDY ASSESSES THE POTENTIAL IMPACTS AT ANY OFF-SITE NOISE RECEPTORS (E.G. RESIDENCES) DUE TO SOUND EMITTED BY THE SOLAR POWER FACILITY'S ELECTRICAL EQUIPMENT INCLUDING, BUT NOT LIMITED TO, INVERTERS AND TRANSFORMERS. THE NOISE STUDY IS REQUIRED TO DEMONSTRATE THAT THE FACILITY, AS DESIGNED, DOES NOT EXCEED A FORTY (40) DECIBEL NOISE LEVEL (APPROXIMATELY THE NOISE LEVEL EXPERIENCED IN A QUIET OFFICE OR LIBRARY). THE CITY'S REVIEW ENGINEER WILL ASSESS THE NOISE STUDY TO DETERMINE ACCEPTABLE DISTANCE FROM THE SOLAR FACILITY TO ANY OFF-SITE RECEPTOR.
  - DECOMMISSIONING AND ABANDONMENT. A SOLAR POWER FACILITY WHICH HAS REACHED THE END OF ITS USEFUL LIFE OR HAS BEEN ABANDONED CONSISTENT WITH ABANDONMENT SECTION SHALL BE REMOVED. THE OWNER OR OPERATOR SHALL PHYSICALLY REMOVE THE FACILITY NO MORE THAN ONE HUNDRED FIFTY (150) DAYS AFTER THE DATE OF THE DISCONTINUED OPERATIONS.
  - REMOVAL SHALL CONSIST OF:
    - PHYSICAL REMOVAL OF ALL INSTALLATIONS, ELECTRICAL EQUIPMENT, ALL APPURTENANT STRUCTURES INCLUDING BUT NOT LIMITED TO, EQUIPMENT SHELTERS, STORAGE FACILITIES, TRANSFORMERS, SUBSTATIONS, SECURITY BARRIERS, FENCES, OVERHEAD AND UNDERGROUND ELECTRIC LINES.
    - DISPOSAL OF ALL SOLID AND HAZARDOUS WASTE IN ACCORDANCE WITH THE LAW.
    - STABILIZATION OR REVEGATION OF THE SITE AS NECESSARY TO MINIMIZE EROSION.
  - ABANDONMENT. A SOLAR FACILITY SHALL BE CONSIDERED ABANDONED WHEN IT FAILS TO OPERATE FOR MORE THAN ONE YEAR. IF THE OWNER OR OPERATOR FAILS TO REMOVE THE INSTALLATION WITHIN ONE HUNDRED FIFTY (150) DAYS OF ABANDONMENT, OR THE PROPOSED DATE OF DECOMMISSIONING, THE CITY MAY ENTER THE PROPERTY AND PHYSICALLY REMOVE THE INSTALLATION.
  - FINANCIAL SURETY. BEFORE RECEIVING A BUILDING PERMIT, OWNERS OR OPERATORS OF A SOLAR POWER FACILITY SHALL PROVIDE A FORM OF SURETY, EITHER THROUGH ESCROW ACCOUNT, BOND OR OTHERWISE, TO COVER TO COST OF REMOVAL IN THE EVENT THE CITY MUST REMOVE THE FACILITY AND REMEDIATE THE LANDSCAPE. IN NO EVENT WILL THE AMOUNT EXCEED ONE HUNDRED TWENTY-FIVE (125) PERCENT OF THE COST OF REMOVAL AND COMPLIANCE AS DETERMINED BY A QUALIFIED ENGINEER HIRED BY THE CITY AND PAID FOR BY THE OWNER OPERATOR. THE QUALIFIED ENGINEER SHALL INCLUDE AN ESTIMATE OF ALL COSTS ASSOCIATED WITH REMOVAL AND REMEDIATION AND A MECHANISM FOR FIGURING INCREASED REMOVAL COSTS DUE TO INFLATION.
- A COPY OF THE CONDITIONS OF APPROVAL AND THE FINAL APPROVED PLANS SHALL BE MADE PART OF ANY BUILDING PERMIT APPLICATION FILED WITH THE CITY.
- THE FINAL PLAN APPLICATION SHALL BE BROUGHT BEFORE THE PLAN COMMISSION AS AN INFORMATIONAL MEETING ITEM PRIOR TO RECORDEING.

Existing Legend

NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS

	PROPERTY LINE		NAIL FOUND/SET
	ASSESSORS LINE		DRILL HOLE FOUND/SET
	BUILDING		BOUND FOUND/SET
	BRUSHLINE		SIGN
	TREELINE		BOLLARD
	GUARDRAIL		SOIL EVALUATION
	FENCE		CATCH BASIN
	RETAINING WALL		DOUBLE CATCH BASIN
	STONE WALL		DRAINAGE MANHOLE
	PATH		FLARED END SECTION
	MINOR CONTOUR LINE		GUY POLE
	MAJOR CONTOUR LINE		ELECTRIC MANHOLE
	WATER LINE		UTILITY/POWER POLE
	SEWER FORCE MAIN		LIGHTPOST
	GAS LINE		SEWER/SEPTIC MANHOLE
	ELECTRIC LINE		SEWER VALVE
	OVERHEAD WIRES		CLEANOUT
	DRAINAGE LINE		HYDRANT
	SOILS LINES		IRRIGATION VALVE
	50' PERIMETER WETLAND		WATER VALVE
	100' RIVERBANK WETLAND		WELL
	200' RIVERBANK WETLAND		MONITORING WELL
	FEMA BOUNDARY		UNKNOWN MANHOLE
	STREAM		GAS VALVE
	WETLAND LINE & FLAG		BENCH MARK
	AREA SUBJECT TO STORM FLOWAGE LINE & FLAG		STREAM FLOW DIRECTION
	STATE HIGHWAY LINE		
	STATE FREEWAY LINE		

Proposed Legend

NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS

	PROPERTY LINE		DRAINAGE LINE
	BUILDING SETBACKS		PERFORATED SUBDRAIN
	CHAINLINK FENCE		SEWER FORCE MAIN
	RETAINING WALL		GAS LINE
	MINOR CONTOUR LINE		WATER LINE
	MAJOR CONTOUR LINE		HYDRANT ASSEMBLY
	BMP STONE BASIN/TRENCH		WATER SHUT OFF
	BOTTOM MINOR CONTOUR LINE		WATER VALVE
	BMP STONE BASIN/TRENCH		THRUST BLOCK
	BOTTOM MAJOR CONTOUR LINE		SEWER LINE
	SPOT ELEVATION		OVERHEAD WIRE
	EDGE OF PAVEMENT		ELECTRIC, TELEPHONE, CABLE LINE
	BITUMINOUS BERM (RIDOT STD 7.5.1)		LIMIT OF DISTURBANCE/ LIMIT OF CLEARING
	CONCRETE CURB (RIDOT STD 7.1.0)		SEDIMENTATION BARRIER, SILT FENCE (RIDOT STD 9.2.0), COMPOST SOCK OR APPROVED EQUAL
	BUILDING FOOTPRINT		SLOPES STEEPER THAN 3:1 (2:1 OR 1:1 SLOPES)
	BUILDING OVERHANG		UNDERGROUND INFILTRATION OUTLINE
	ASPHALT PAVEMENT		POND ACCESS
	HEAVY DUTY ASPHALT PAVEMENT		RIPRAP
	HEAVY DUTY CONCRETE		SAND FILTER
	CONCRETE		BIO RETENTION
	ASPHALT SIDEWALK		CATCH BASIN
	SAWCUT LINE		DOUBLE CATCH BASIN
	SIGN (RIDOT STD 24.6.2 AS APPLICABLE)		MANHOLE
	SINGLE LIGHT		FLARED END SECTION
	DOUBLE LIGHT		HEADWALL
	OVERHANGING LIGHT		
	ACCESSIBLE PARKING SPACE SYMBOLS		
	BUILDING INGRESS/EGRESS		
	ELECTRIC UTILITY POLE		
	ZONING LINE		
	SOLAR ARRAY (TYP)		
	LIMIT OF DISTURBANCE		

General Notes & Legend

Natick Avenue Solar

Assessor's Plat 22-3 Lots 108 & 119

Client

Natick Solar, LLC

17 Metro Center Blvd #2007, Warwick, Rhode Island 02886

tel: 401-943-1000 fax: 401-464-6006 www.diprete-eng.com

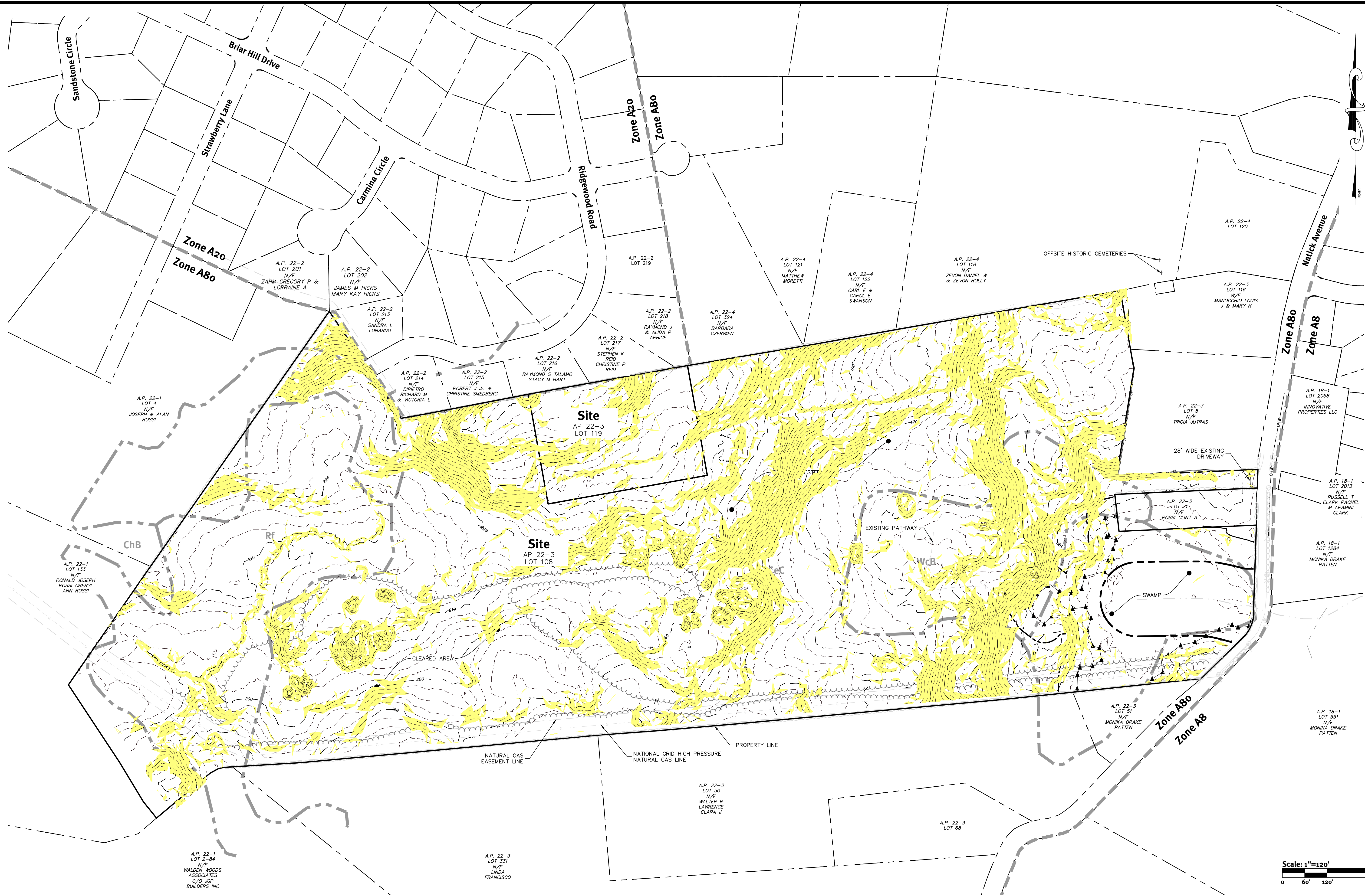
This regulatory submission set shall not be used for construction purposes unless stamped 'Issued for Construction' and signed by a Diprete Engineering representative.

The contractor is responsible for all of the means, methods, safety, precautions and requirements, and OSHA conformance in the implementation of this plan and design.

No.	Date	Description	By:	Design By: SEK
1	10/17/2023	Master Plan Re-submission	SEK	
2	2/17/2024	REMA Permit Modification	SEK	
3	12/18/2020	City Planning Comments	SEK	
4	12/18/2020	City Planning Comments	SEK	



z:\domain\project\3437-015 natick avenue solar\autocad drawings\3437-015-plan.dwg Plotter: 10/11/2022



**Existing Conditions Note:**

SEE SHEET 13 FOR CLASS I BOUNDARY SURVEY.

STEEP SLOPES TABLE		
	SLOPE	COLOR
1	>15.00%	

**Existing Conditions Plan**

**Natick Avenue Solar**

Assessor's Plat 22-3 Lots 108 & 119

Cranston, Rhode Island

**Natick Solar, LLC**

17 Metro Center Blvd #2007, Warwick, Rhode Island 02886

tel: 401-943-1000

This regulatory submission set shall not be used for construction purposes unless stamped 'Issued for Construction' and signed by a DPRE Engineering representative.

The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA conformance in the implementation of this plan and design.

No.	Date	Description	By:	Design By: SEK
1	10/11/2022	Master Plan Re-submission		
2	2/17/2023	REBA Permit Modification		
3	12/18/2020	City Planning Comments		
4	10/11/2022	Final Submission		

**KEVIN DEMERS**  
  
**REGISTERED PROFESSIONAL ENGINEER CIVIL**

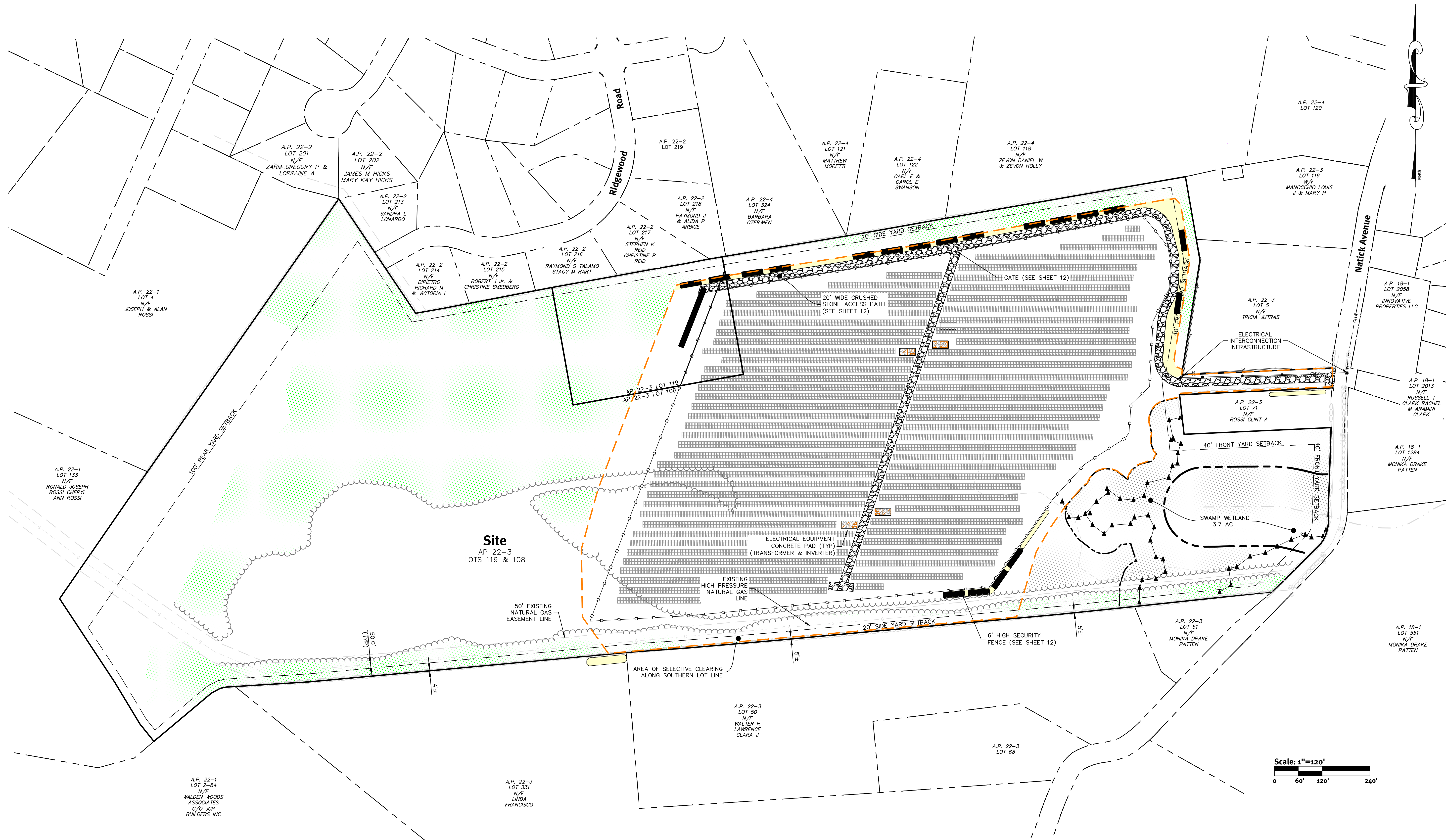
**DIPrete Engineering**

Two Stafford Court Cranston, RI 02920  
tel: 401-943-1000 fax: 401-464-6006 www.diprete-eng.com

**Boston • Providence • Newport**



z:\domain\project\3437-015 natick avenue solar\autocad drawings\3437-015-plan.dwg Plotter: 10/11/2022



#### Site Layout Plan Notes:

- THE SITE IS NOT WITHIN A NATURAL HERITAGE AREA, PER RIGIS ONLINE DATABASE.
- THERE ARE NO KNOWN ENVIRONMENTAL HAZARDS OR IMPAIRMENTS ON SITE.

**Commercial Solar Farm**

### Site Layout Plan Natick Avenue Solar

Assessor's Plat 22-3 Lots 108 & 119

Client  
Natick Solar, LLC

17 Metro Center Blvd #2007, Warwick, Rhode Island 02886  
tel: 401-943-1000 fax: 401-464-6006 www.diprete-eng.com

KEVIN DEMERS  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL

This regulatory submission set shall not be used for construction purposes unless stamped 'Issued for Construction' and signed by a Diprete Engineering representative.

The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA compliance in the implementation of this plan and design.

No.	Date	Description	Design By: SEK
1	10/11/2022	Master Plan Re-submission	
2	2/17/2023	REBA Permit Modification	
3	12/18/2020	City Planning Comments	
4	12/18/2020	City Planning Comments	
5	12/18/2020	City Planning Comments	
6	12/18/2020	City Planning Comments	
7	12/18/2020	City Planning Comments	
8	12/18/2020	City Planning Comments	
9	12/18/2020	City Planning Comments	
10	12/18/2020	City Planning Comments	
11	12/18/2020	City Planning Comments	
12	12/18/2020	City Planning Comments	
13	12/18/2020	City Planning Comments	
14	12/18/2020	City Planning Comments	
15	12/18/2020	City Planning Comments	
16	12/18/2020	City Planning Comments	
17	12/18/2020	City Planning Comments	
18	12/18/2020	City Planning Comments	
19	12/18/2020	City Planning Comments	
20	12/18/2020	City Planning Comments	
21	12/18/2020	City Planning Comments	
22	12/18/2020	City Planning Comments	
23	12/18/2020	City Planning Comments	
24	12/18/2020	City Planning Comments	
25	12/18/2020	City Planning Comments	
26	12/18/2020	City Planning Comments	
27	12/18/2020	City Planning Comments	
28	12/18/2020	City Planning Comments	
29	12/18/2020	City Planning Comments	
30	12/18/2020	City Planning Comments	
31	12/18/2020	City Planning Comments	
32	12/18/2020	City Planning Comments	
33	12/18/2020	City Planning Comments	
34	12/18/2020	City Planning Comments	
35	12/18/2020	City Planning Comments	
36	12/18/2020	City Planning Comments	
37	12/18/2020	City Planning Comments	
38	12/18/2020	City Planning Comments	
39	12/18/2020	City Planning Comments	
40	12/18/2020	City Planning Comments	
41	12/18/2020	City Planning Comments	
42	12/18/2020	City Planning Comments	
43	12/18/2020	City Planning Comments	
44	12/18/2020	City Planning Comments	
45	12/18/2020	City Planning Comments	
46	12/18/2020	City Planning Comments	
47	12/18/2020	City Planning Comments	
48	12/18/2020	City Planning Comments	
49	12/18/2020	City Planning Comments	
50	12/18/2020	City Planning Comments	
51	12/18/2020	City Planning Comments	
52	12/18/2020	City Planning Comments	
53	12/18/2020	City Planning Comments	
54	12/18/2020	City Planning Comments	
55	12/18/2020	City Planning Comments	
56	12/18/2020	City Planning Comments	
57	12/18/2020	City Planning Comments	
58	12/18/2020	City Planning Comments	
59	12/18/2020	City Planning Comments	
60	12/18/2020	City Planning Comments	
61	12/18/2020	City Planning Comments	
62	12/18/2020	City Planning Comments	
63	12/18/2020	City Planning Comments	
64	12/18/2020	City Planning Comments	
65	12/18/2020	City Planning Comments	
66	12/18/2020	City Planning Comments	
67	12/18/2020	City Planning Comments	
68	12/18/2020	City Planning Comments	
69	12/18/2020	City Planning Comments	
70	12/18/2020	City Planning Comments	
71	12/18/2020	City Planning Comments	
72	12/18/2020	City Planning Comments	
73	12/18/2020	City Planning Comments	
74	12/18/2020	City Planning Comments	
75	12/18/2020	City Planning Comments	
76	12/18/2020	City Planning Comments	
77	12/18/2020	City Planning Comments	
78	12/18/2020	City Planning Comments	
79	12/18/2020	City Planning Comments	
80	12/18/2020	City Planning Comments	
81	12/18/2020	City Planning Comments	
82	12/18/2020	City Planning Comments	
83	12/18/2020	City Planning Comments	
84	12/18/2020	City Planning Comments	
85	12/18/2020	City Planning Comments	
86	12/18/2020	City Planning Comments	
87	12/18/2020	City Planning Comments	
88	12/18/2020	City Planning Comments	
89	12/18/2020	City Planning Comments	
90	12/18/2020	City Planning Comments	
91	12/18/2020	City Planning Comments	
92	12/18/2020	City Planning Comments	
93	12/18/2020	City Planning Comments	
94	12/18/2020	City Planning Comments	
95	12/18/2020	City Planning Comments	
96	12/18/2020	City Planning Comments	
97	12/18/2020	City Planning Comments	
98	12/18/2020	City Planning Comments	
99	12/18/2020	City Planning Comments	
100	12/18/2020	City Planning Comments	

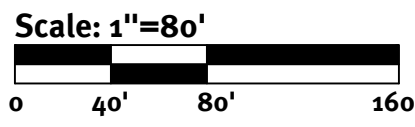


z:\domain\project\2437-015 natick avenue solar\autocad drawings\2437-015 plan.dwg Plotter: 10/11/2022



**Dimensional Regulations:**

CURRENT ZONING:			
A-80		REQUIRED	PROPOSED
MINIMUM LOT AREA:		80,000 SF	2,789,020 SF
MINIMUM FRONTAGE AND LOT WIDTH:		200'	500'
MINIMUM FRONT YARD:		60'	473'
MINIMUM SIDE YARD (NORTH):		20'	94'
MINIMUM SIDE YARD (SOUTH):		20'	100'
MINIMUM REAR YARD:		100'	1,024'
MINIMUM BUFFER (NORTH):		5'	50'
MINIMUM BUFFER (EAST):		10'	25'
MINIMUM BUFFER (SOUTH):		5'	5'-10' VARIABLE
MINIMUM BUFFER (WEST):		5'	108'



**Site Development Plan**  
**Natick Avenue Solar**

Assessor's Plat 22-3 Lots 108 & 119

Cranston, Rhode Island

Client

**Natick Solar, LLC**

17 Metro Center Blvd #2007, Warwick, Rhode Island 02886

tel: 401-943-1000 fax: 401-464-6006 www.diprete-eng.com

This regulatory submission set shall not be used for construction purposes unless stamped 'Issued for Construction' and signed by a Diprete Engineering representative.

The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA compliance in the implementation of this plan and design.

**KEVIN DEMERS**  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL  
No. 005573

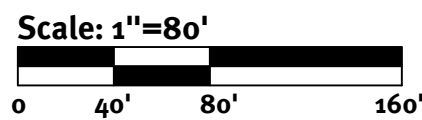
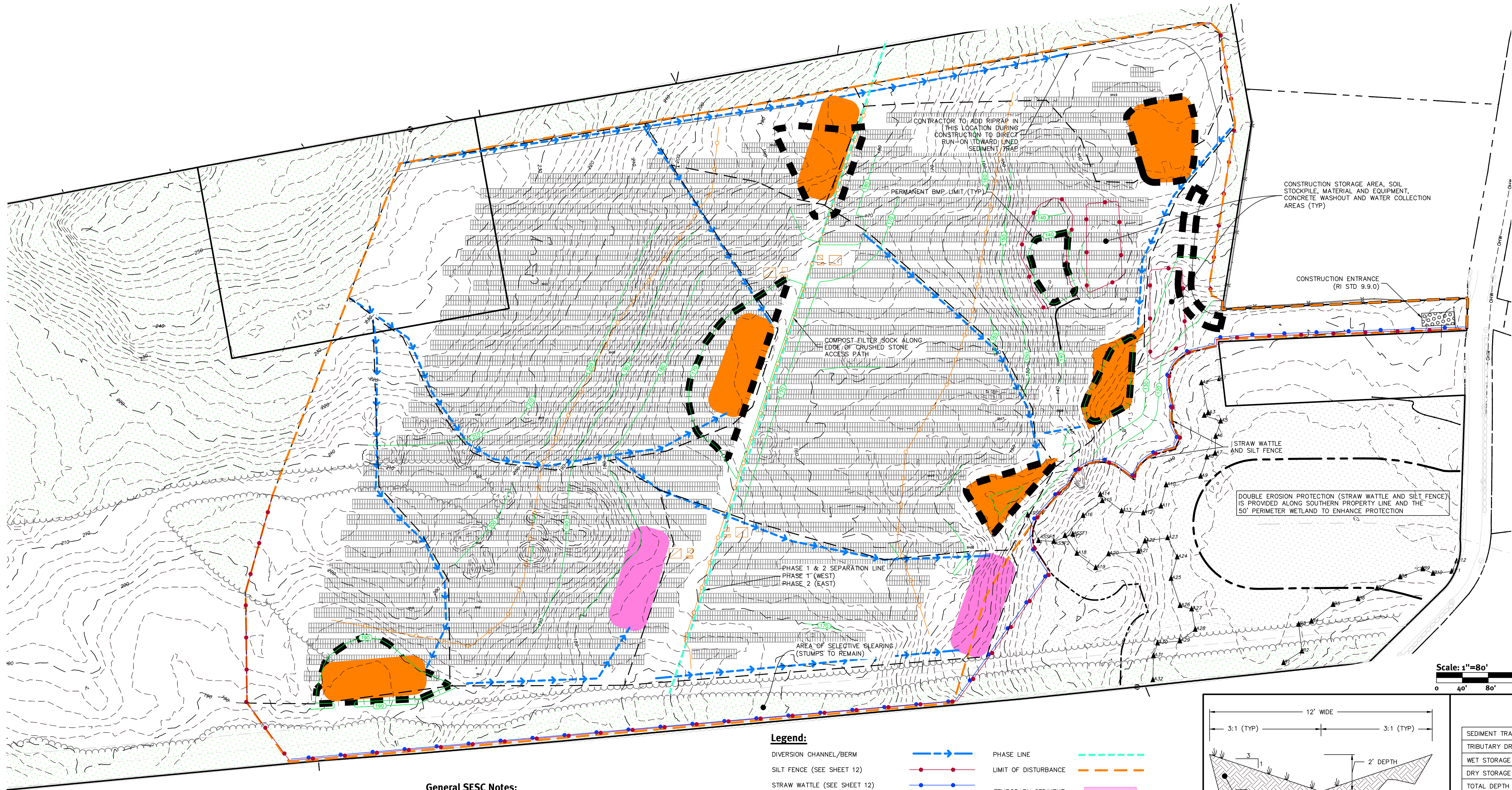
**DIPrete Engineering**  
Two Stafford Court Cranston, RI 02920  
tel: 401-943-1000 fax: 401-464-6006 www.diprete-eng.com

Boston • Providence • Newport

No.	Date	Description	By	Design By-SEK
1	10/11/2022	Master Plan Realignment	SEK	
2	2/17/2023	REDA Line Modification	SEK	
3	12/18/2023	Site Planing Comments	SEK	
4				
5				
6				
7				
8				
9				
10				
11				
12				
13				
14				
15				
16				
17				
18				
19				
20				
21				
22				
23				
24				
25				
26				
27				
28				
29				
30				
31				
32				
33				
34				
35				
36				
37				
38				
39				
40				
41				
42				
43				
44				
45				
46				
47				
48				
49				
50				
51				
52				
53				
54				
55				
56				
57				
58				
59				
60				
61				
62				
63				
64				
65				
66				
67				
68				
69				
70				
71				
72				
73				
74				
75				
76				
77				
78				
79				
80				
81				
82				
83				
84				
85				
86				
87				
88				
89				
90				
91				
92				
93				
94				
95				
96				
97				
98				
99				
100				



z:\demain\project\3437-015 natick avenue solar\autocad drawings\3437-015 plan.dwg Plotter: 10/11/2022

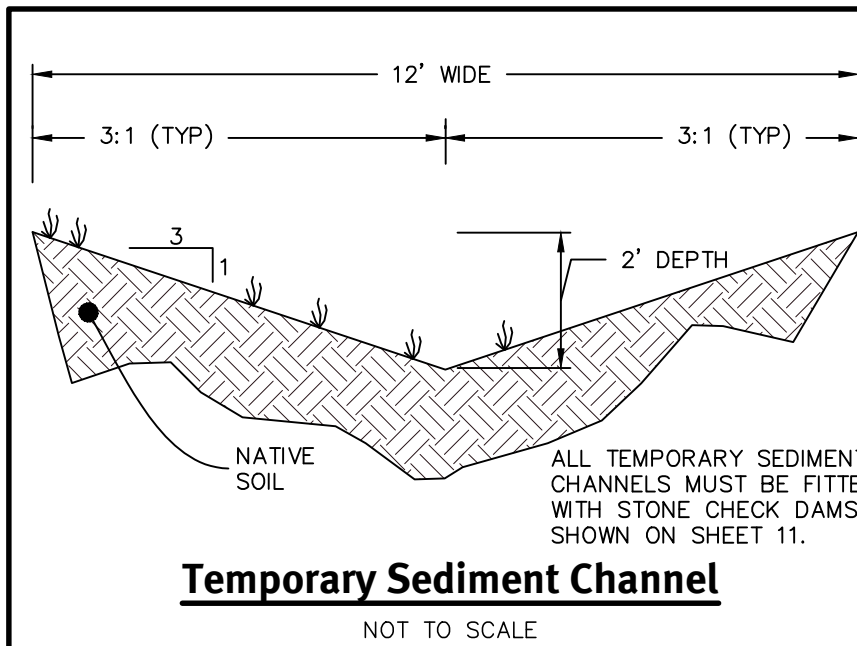


#### General SESC Notes:

- INTERNAL SEDIMENT CONTROL SHOWN IS THE MINIMUM AMOUNT REQUIRED. CONTRACTOR MUST MONITOR THE SITE AND IF AREAS OF EROSION ARE OBSERVED FOLLOWING STORM EVENTS (PRECIPITATION OF 0.25" OR GREATER), CONTRACTOR MUST SUPPLEMENT WITH ADDITIONAL EROSION CONTROL MEASURES AS SHOWN AND SPECIFIED IN SECTION SIX OF THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK.

#### Legend:

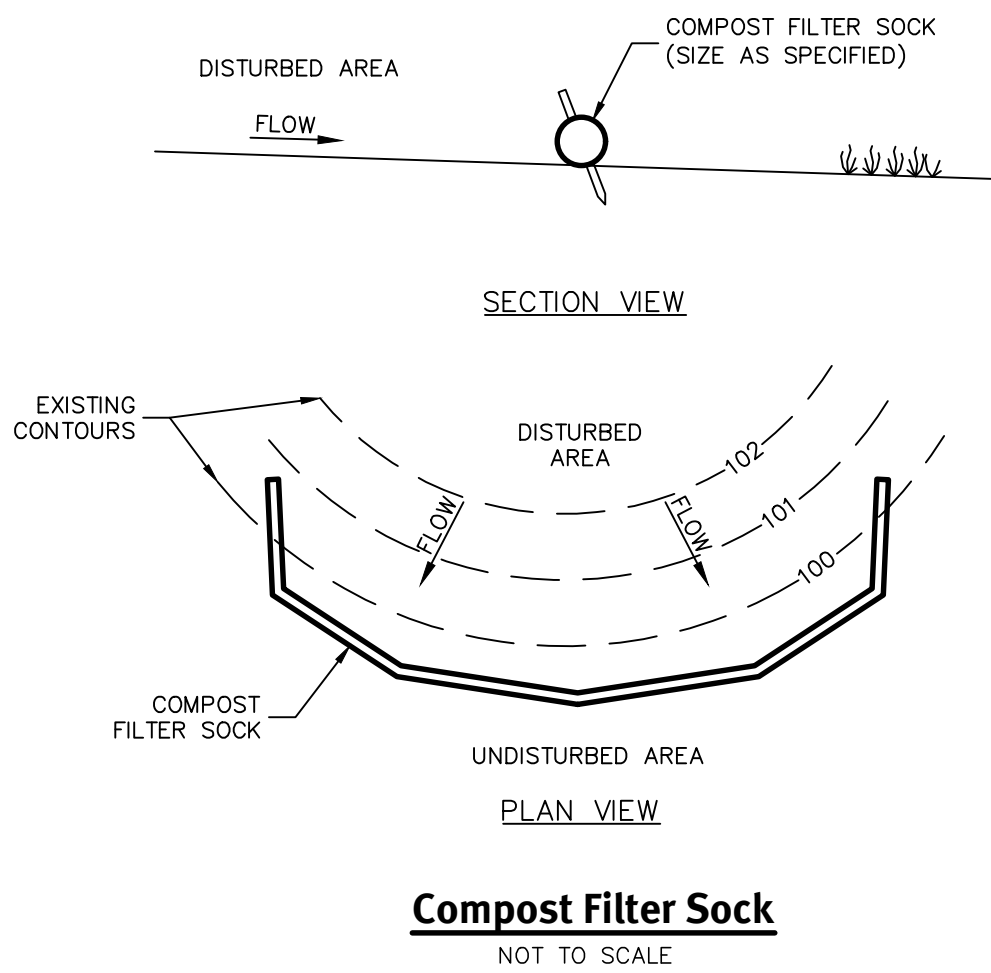
- DIVERSION CHANNEL/BERM  
SILT FENCE (SEE SHEET 12)  
STRAW WATTLE (SEE SHEET 12)  
COMPOST FILTER SOCK (8" DIAMETER)  
APPROXIMATE SESC TRAP DISTURBANCE AREA LINE (5 ACRE MAX)  
FINAL CONTOUR
- PHASE LINE  
LIMIT OF DISTURBANCE  
TEMPORARY SEDIMENT TRAPS (UNLINED)  
TEMPORARY SEDIMENT TRAPS (LINED)



SEDIMENT TRAP DIMENSIONS	TRAP TYPICAL
TRIBUTARY DRAINAGE AREA	1.0-5.0 AC
WET STORAGE DEPTH (Dw)	3.00 FT
DRY STORAGE DEPTH (Dd)	2.00 FT
TOTAL DEPTH (D)	5.00 FT
BOTTOM OF TRAP AREA (Ab)	1,140 SQFT
WETTED SURFACE AREA (Aw)	3,935 SQFT
SURFACE AREA AT OUTLET (Ad)	9,272 SQFT

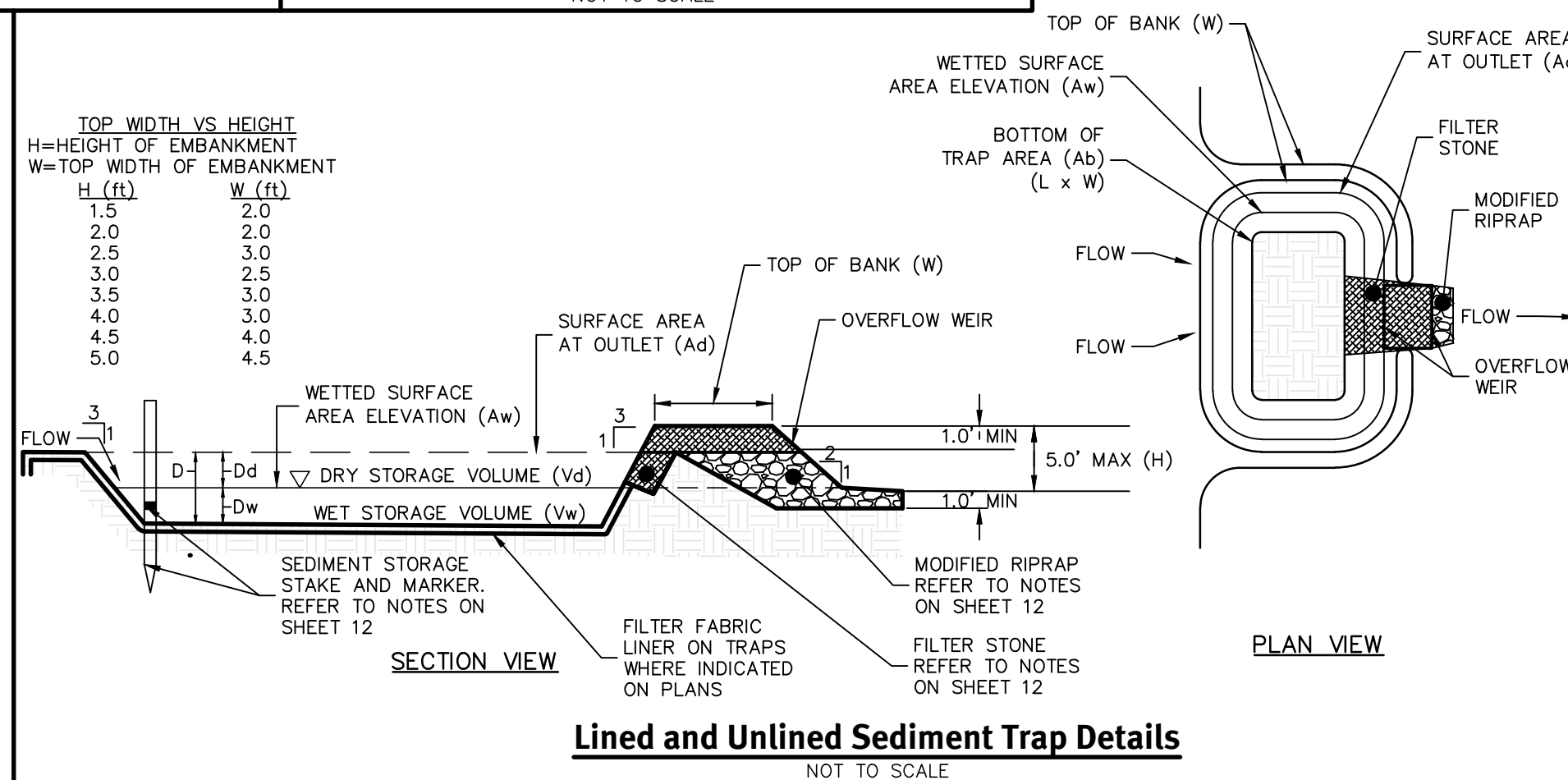
#### Erosion Control SESC Trap Disturbance Area Notes:

- THE FOLLOWING STEPS MUST BE FOLLOWED WHEN CLEARING AND STUMPING THE SESC TRAP DISTURBANCE AREAS:
- TREE CLEARING AND EARTHWORK
- TREE CLEARING WILL COMMENCE LEAVING ALL STUMPS IN PLACE.
  - THE ENTIRETY OF ALL PHASE 1 AND 2 EROSION CONTROL MUST BE INSTALLED (SEE PLANS).
  - STUMPING MUST BE PERFORMED WITHIN THE APPROXIMATE DISTURBANCE AREAS LINES (SEE PLANS) AND DIVERSION CHANNELS (ALONG WITH PERMANENT SWALES) AND TRAPS MUST BE INSTALLED BEFORE MOVING TO THE NEXT STUMPING AREA.
  - ONCE TRAPS ARE IN PLACE COMPOST FILTER SOCKS MUST BE INSTALLED AS SHOWN ON THIS SHEET.
  - CONTRACTOR TO THEN BEGIN FINAL SITE GRADING.
  - ONCE GRADING IS COMPLETED, AREA MUST BE SEEDED WITHIN 72 HOURS.
  - ONCE GRASS HAS BEEN ESTABLISHED, TEMPORARY MEASURES CAN BE TAKEN OFFLINE.
  - ONCE TEMPORARY MEASURES ARE REMOVED THE CONTRACTOR MUST SCARIFY THE BOTTOM OF THE LINED TRAPS UNDER THE SUPERVISION OF THE ENGINEER OF RECORD TO ENSURE INFILTRATION CAN OCCUR IN BMP AREAS REQUIRING SUCH.
  - PERMANENT DRAINAGE FEATURES CAN THEN BE CONSTRUCTED.



#### Notes:

- COMPOST FILTER SOCKS MUST BE USED TO CONSTRUCT THE FILTER BERMS ON SITE.
- COMPOST FILTER SOCKS MUST BE USED ON SIGNIFICANT FLOW PATHS AND PLACED PARALLEL TO THE SLOPE OF THE FLOW BASED ON THE COMPOST FILTER SOCK REQUIREMENTS IN THE RI SOIL EROSION AND SEDIMENT CONTROL HANDBOOK (2016).
- TALL GRASSES MUST BE CUT PRIOR TO INSTALLATION TO MINIMIZE POTENTIAL FOR UNDERCUTTING. COMPOST FILTER SOCKS MUST BE NETTED OR OTHERWISE ANCHORED AFTER INSTALLATION.
- SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE ABOVE GROUND HEIGHT OF THE SOCK.
- ANY SECTION OF COMPOST FILTER SOCK WHICH HAVE BEEN UNDERMINED OR TOPPED MUST BE IMMEDIATELY REPLACED. CONCENTRATED FLOWS MUST NOT BE DIRECTED TOWARDS ANY COMPOST FILTER SOCK.
- CONTRACTOR MUST FIELD ADJUST FILTER SOCKS AS NECESSARY. CERTAIN AREAS MAY BE OMITTED AS NECESSARY OR ADDITIONAL MEASURES ADDED BASED ON FIELD CONDITIONS.
- CONTRACTOR TO MODIFY FILTER SOCK CONDITIONS AS SITE GRADING IS REVISED. FILTER SOCKS MUST BE IN PLACE WHEN A RAINFALL GREATER THAN 0.25" IS EXPECTED.



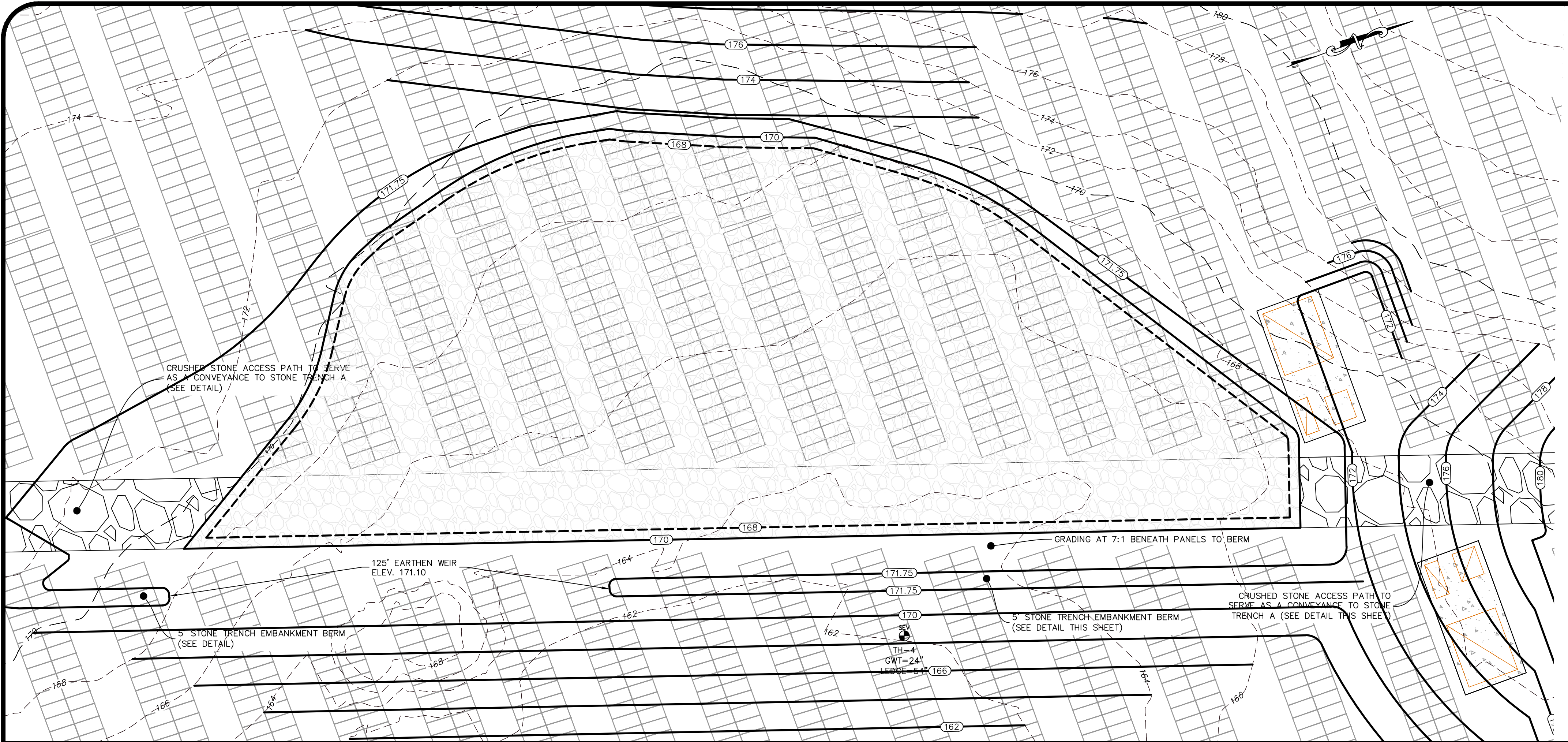
This regulatory submission set shall not be used for construction purposes unless stamped 'Issued for Construction' and signed by a DiPrete Engineering representative.

The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA compliance in the implementation of this plan and design.

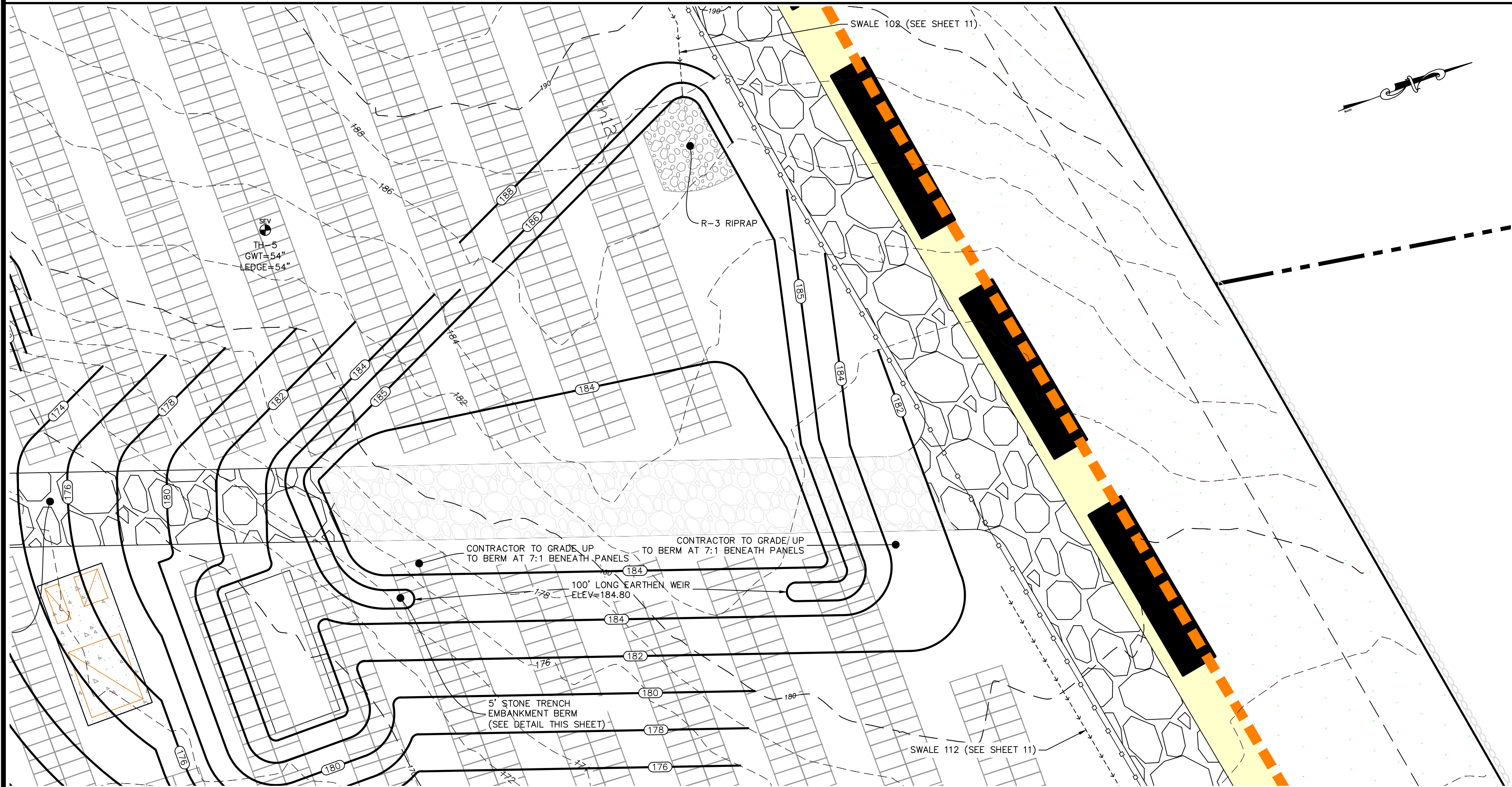
KEVIN DEMERS  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL



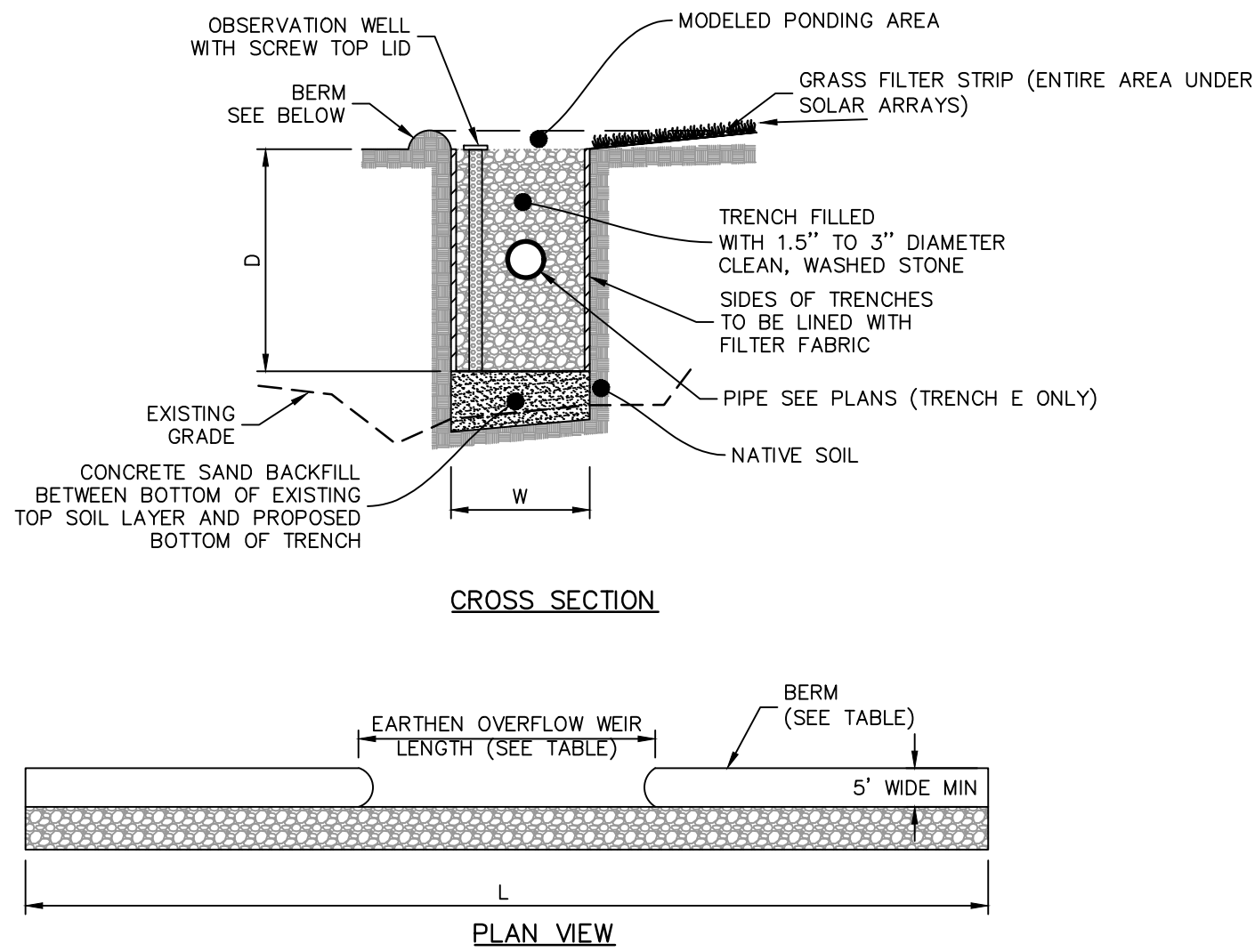
z:\demain\project\3437-015 natick avenue solar\autocad drawings\3437-015-plan.dwg Plotter: 10/11/2022



Stone Trench A



Stone Trench E



LOCATION	TRENCH DEPTH (D)	TRENCH WIDTH (W)	TRENCH LENGTH (L)	BERM HEIGHT	WEIR LENGTH	TH#: SHWT
TRENCH A	24"	VARIES	310'*	21"	125'	TH-4; 160.2
TRENCH E	24"	VARIES	160'	18"	100'	TH-5; 178.0

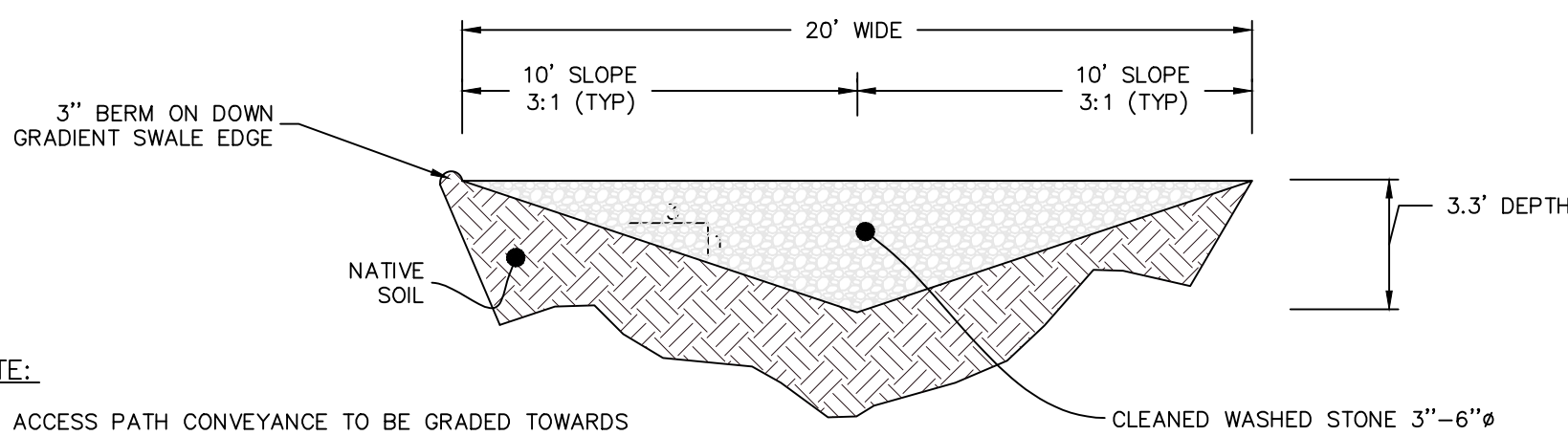
NOTE:

- ALL BERMS WILL RUN THE FULL LENGTH AND SIDES OF THE STONE TRENCH TO PROVIDE STORMWATER PONDING STORAGE.
- ALL STONE TRENCHES ARE TO INCLUDE AN EARTHEN OVERFLOW WEIR (SEE TABLE AND PLANS).

DESCRIPTION	A	E
TOP OF BERM ELEVATION	171.75	185.00
TOP OF STONE ELEVATION	170.00	183.50
100 YEAR STORM ELEVATION	171.31	184.93
10 YEAR STORM ELEVATION	170.68	184.81
1 YEAR STORM ELEVATION	168.34	182.65
BOTTOM OF TRENCH ELEVATION	168.00	181.50
WEIR INVERT	171.10	184.80

Stone Trench Detail

NOT TO SCALE

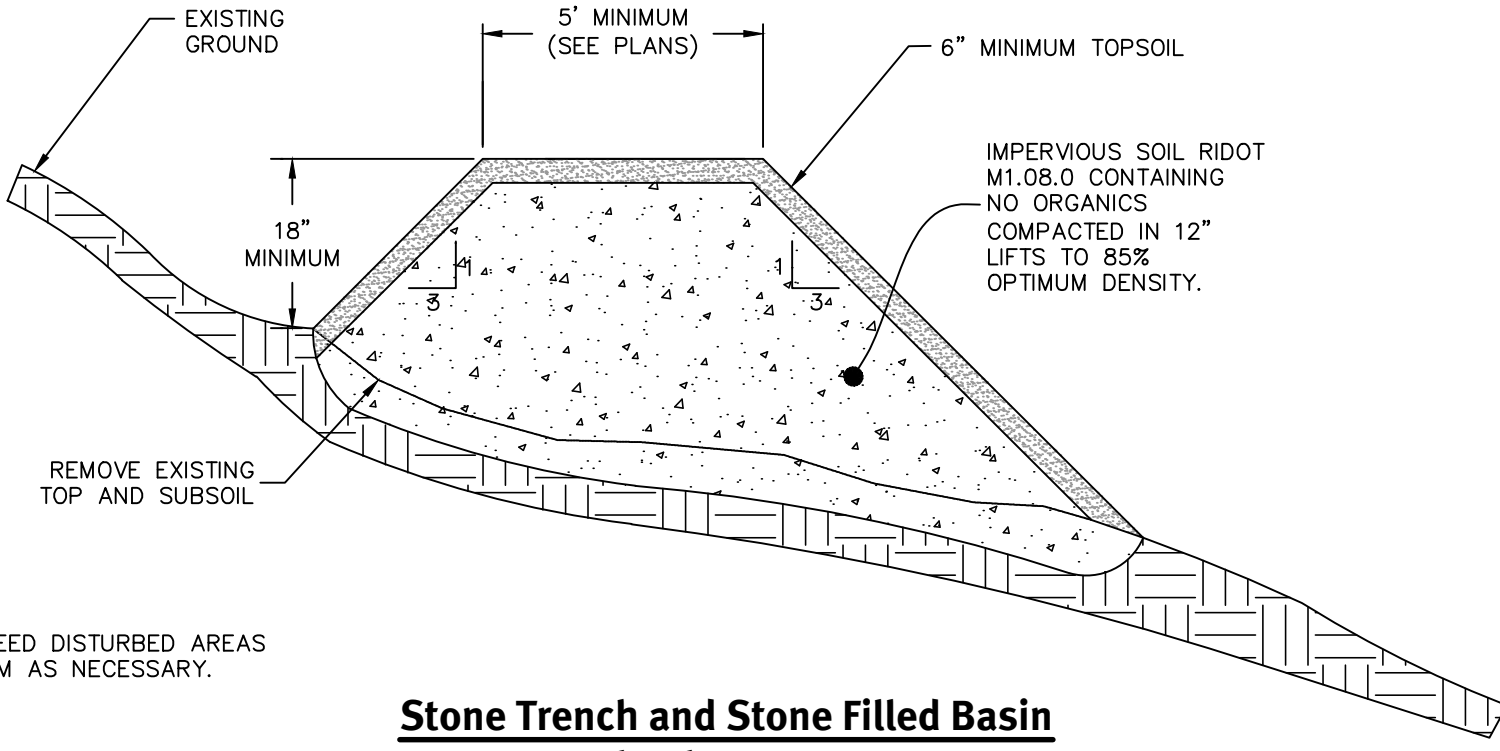


NOTE:

- ACCESS PATH CONVEYANCE TO BE GRADED TOWARDS STONE TRENCH A.

Crushed Stone Access Path Stone Conveyance

NOT TO SCALE



NOTE:

- LOAM AND SEED DISTURBED AREAS AROUND BERM AS NECESSARY.

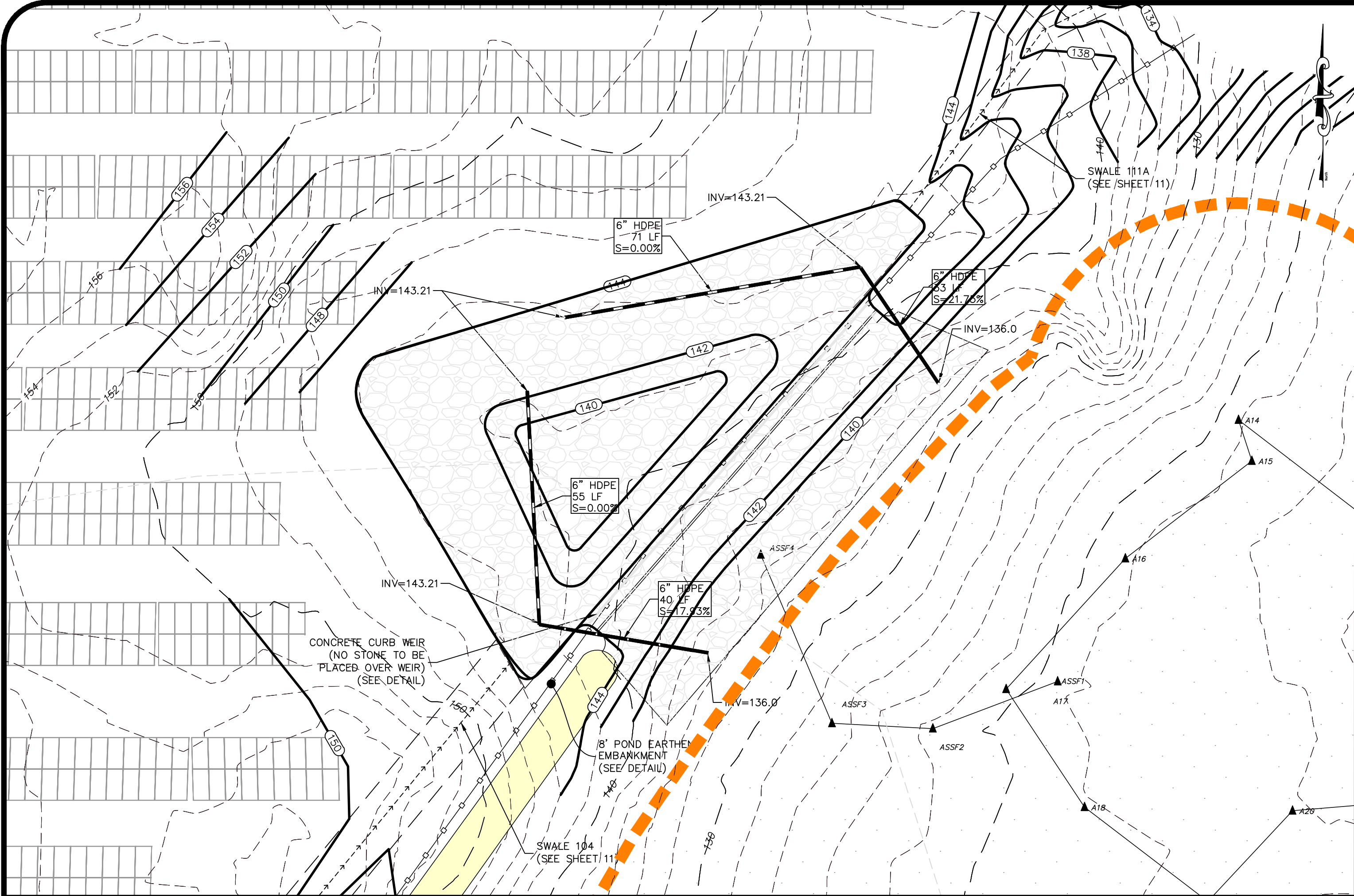
Stone Trench and Stone Filled Basin Embankment Berm

NOT TO SCALE

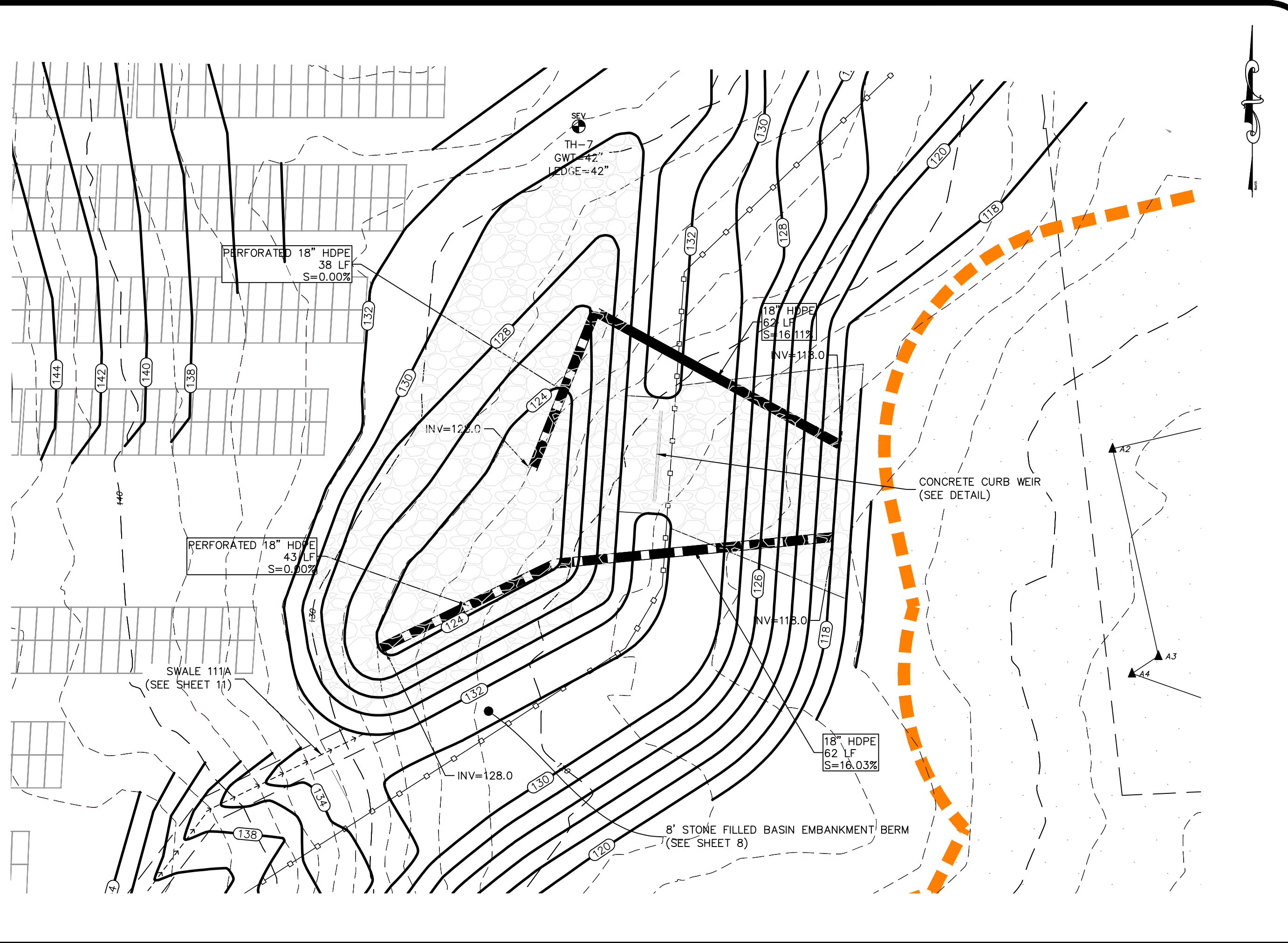
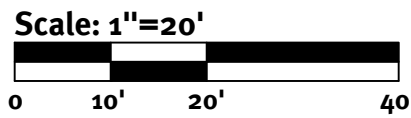
No.	Date	Description	Drawn By: SEK	Design By: SEK
1	10/11/2022	Master Plan Realignment	KDE	
2	2/17/2023	REBA Permit Modification	SJM	
3	12/18/2020	City Planning Comments	SJM	
4	0		SJM	



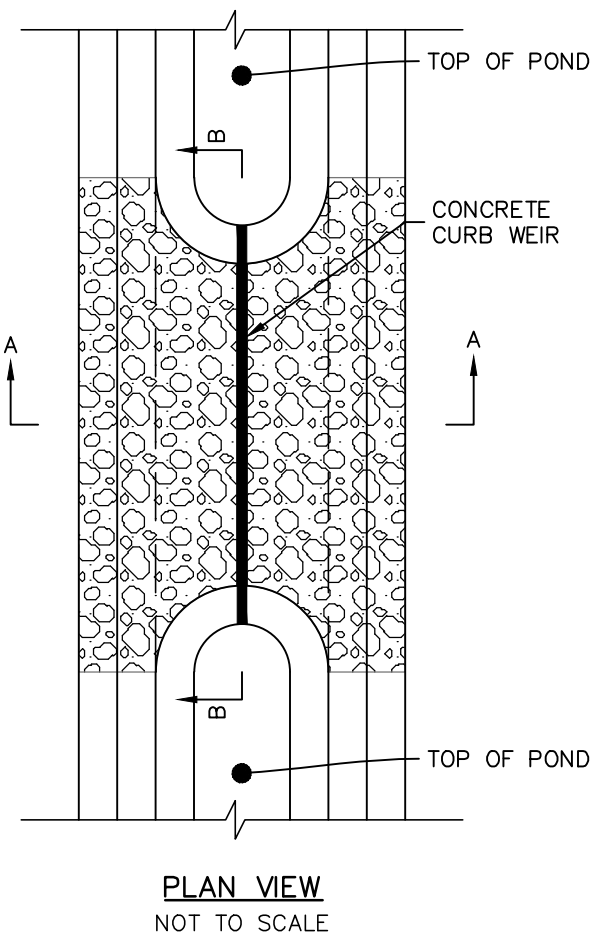
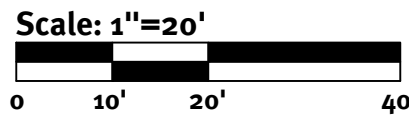
z:\demain\project\3437-015 natick avenue solar\autocad drawings\3437-015 plan.dwg Plotted: 10/11/2022



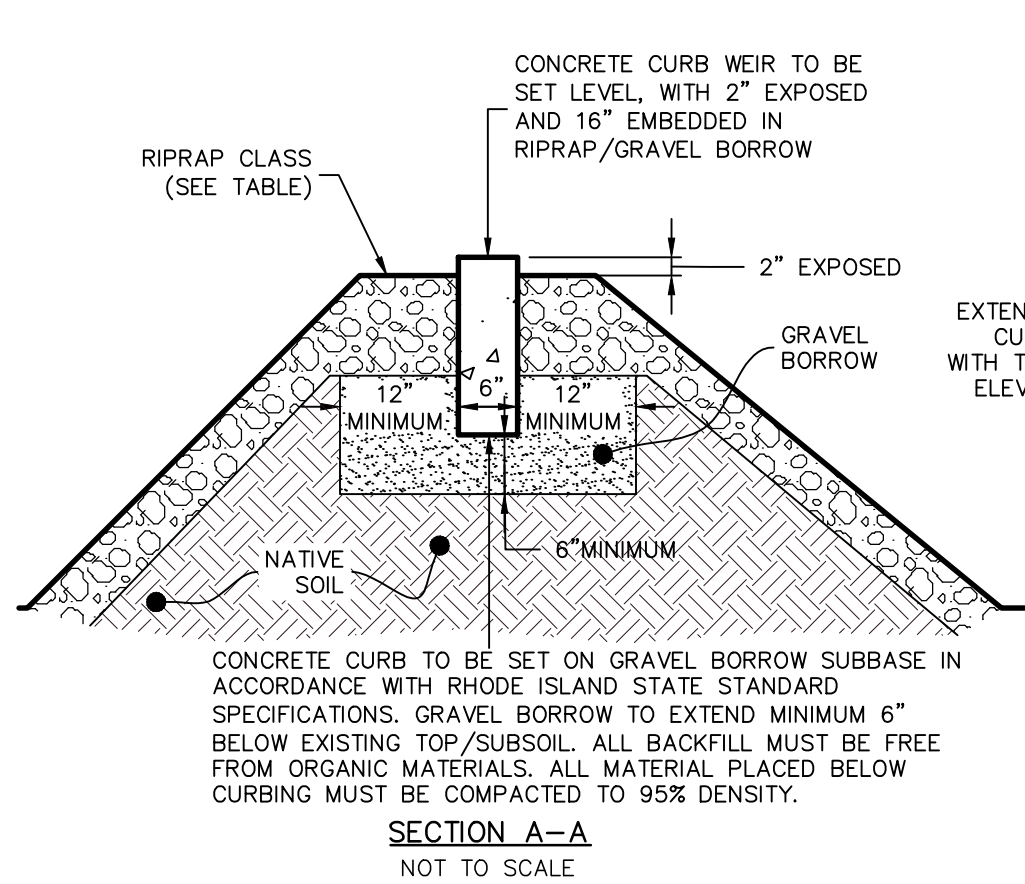
Stone Filled Basin B



Stone Filled Basin H



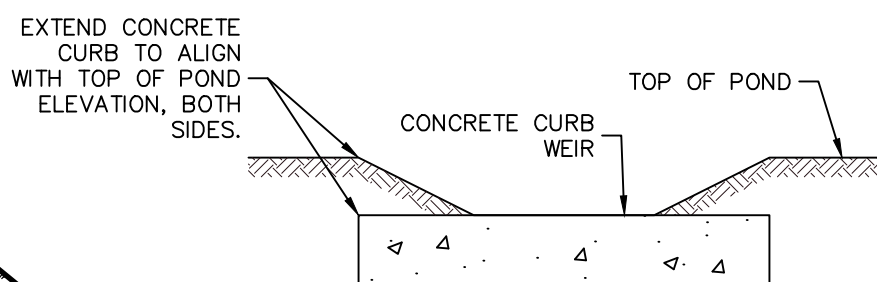
PLAN VIEW  
NOT TO SCALE



SECTION A-A  
NOT TO SCALE

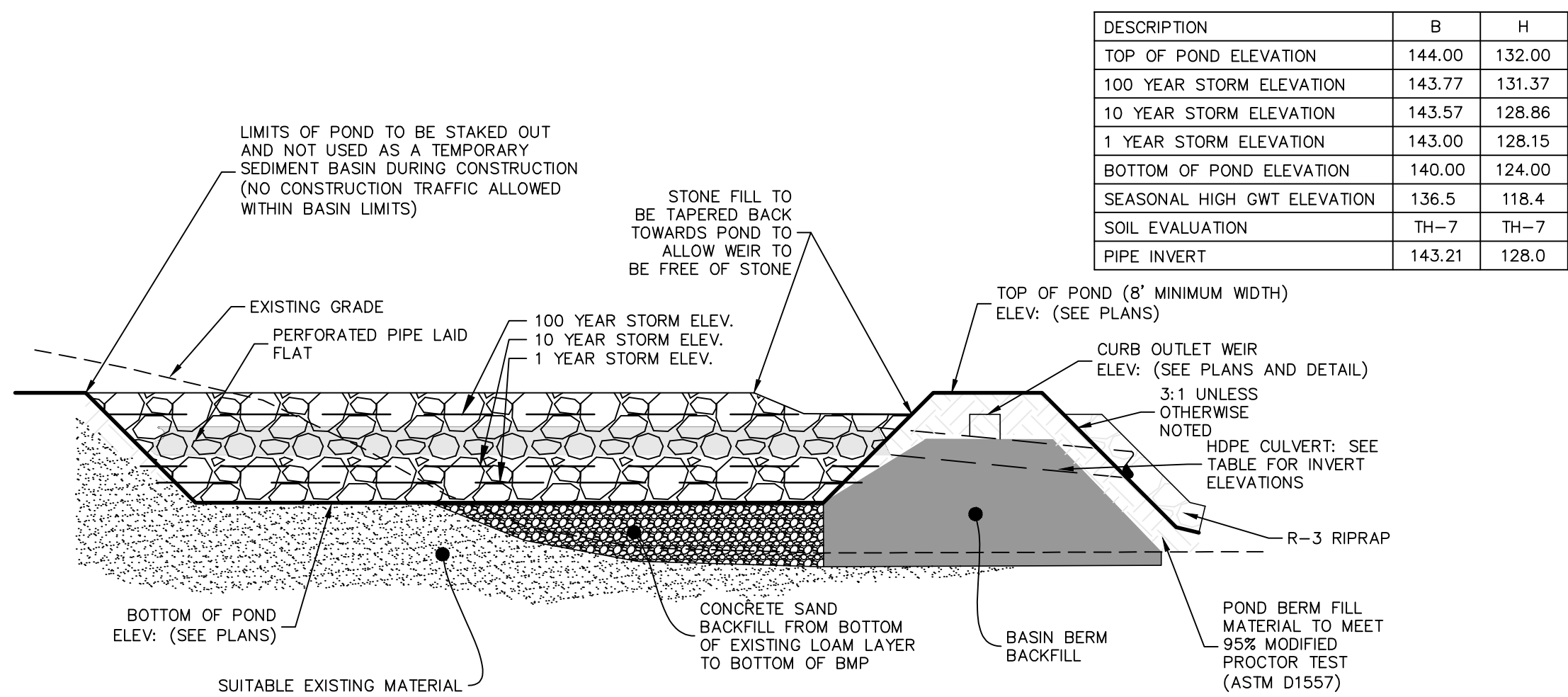
Curb Outlet Weir  
NOT TO SCALE

LOCATION	TOP ELEV.	WEIR INVERT	WEIR DEPTH	WEIR LENGTH	RIPRAP CLASS
BASIN B	144.00	143.50	0.50	100.0'	R-3
BASIN H	132.00	131.00	1.00	20.0'	R-3



SECTION B-B  
NOT TO SCALE

NOTE:  
ALL CONCRETE CURB WEIRS MUST BE MONOLITHIC.  
CONCRETE CURB WEIRS CANNOT BE MULTIPLE PRECAST  
CURBS JOINED IN SEQUENCE.



Stone Filled Basin  
NOT TO SCALE

BMP Details - B & H  
Natick Avenue Solar

Client  
Natick Solar, LLC

17 Metro Center Blvd #2007, Warwick, Rhode Island 02886  
tel: 401-943-1000 fax: 401-464-6006 www.diprete-eng.com

This regulatory submission set shall not be used for construction purposes unless stamped 'Issued for Construction' and signed by a Diprete Engineering representative.

The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA compliance in the implementation of this plan and design.

No.	Date	Description	Design By: SEK
1	10/11/2022	Master Plan Re-submission	
2	2/17/2023	REBA Permit Modification	
3	10/11/2022	CD Planning Comments	
4	10/11/2022	CD Planning Comments	

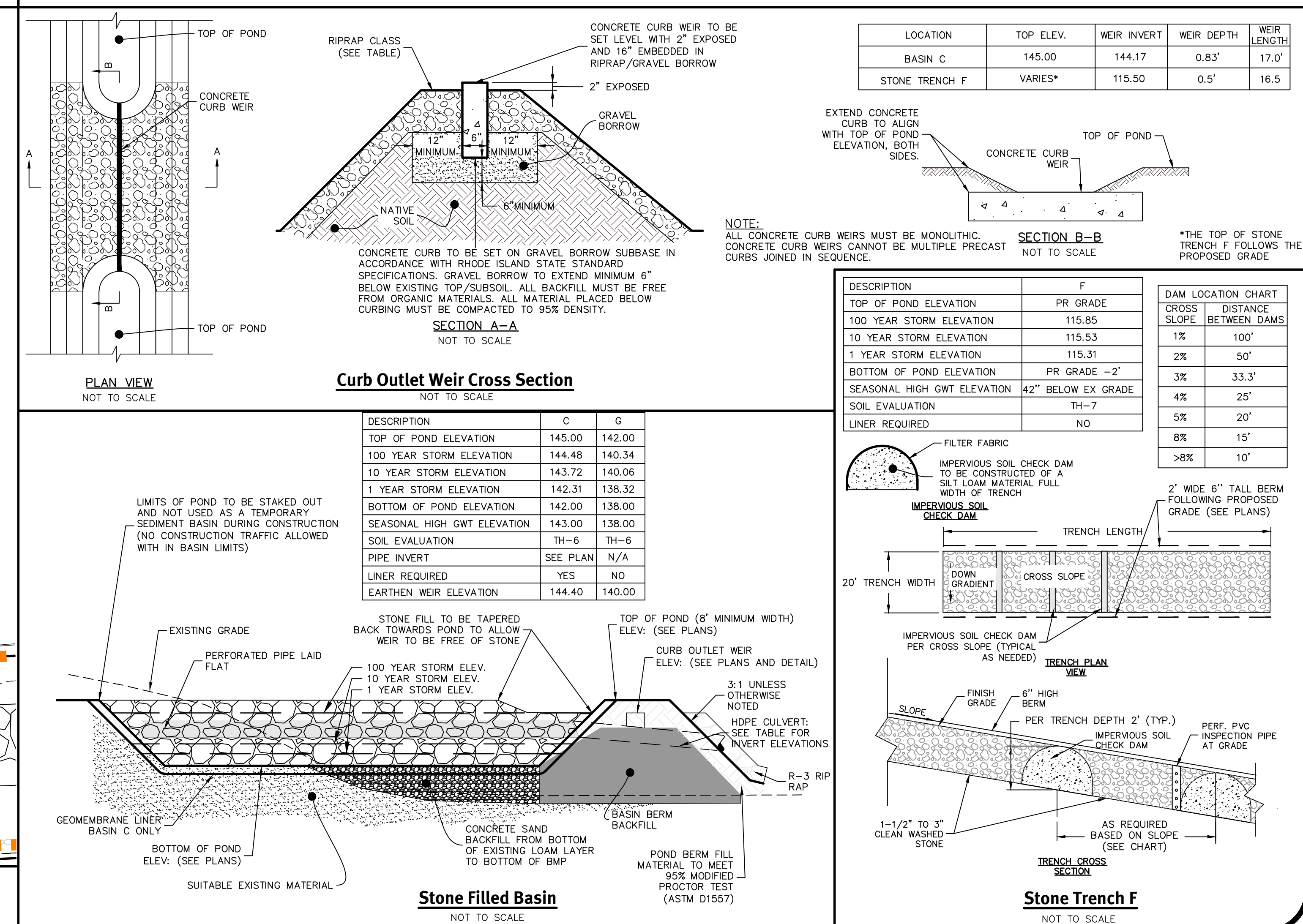
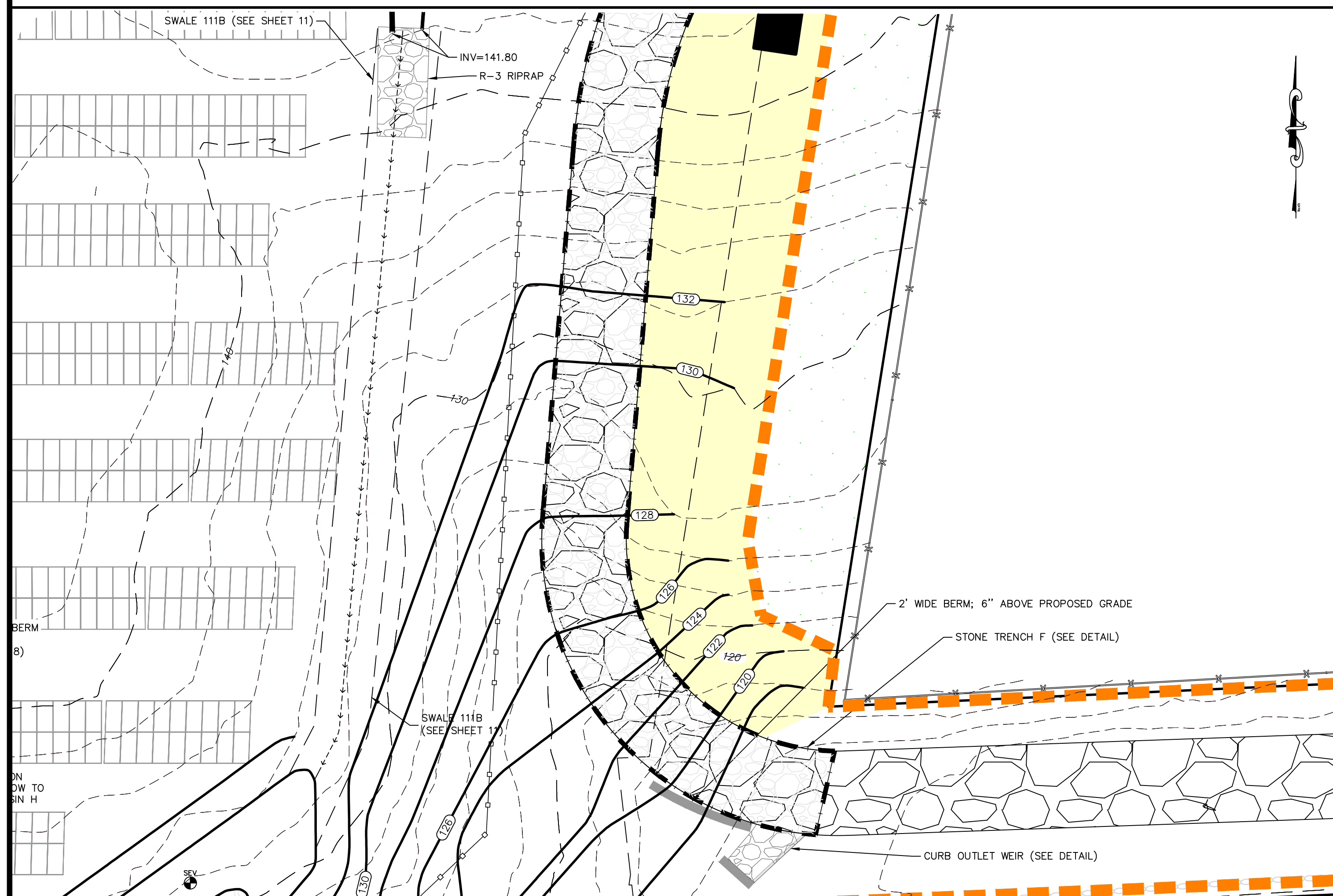
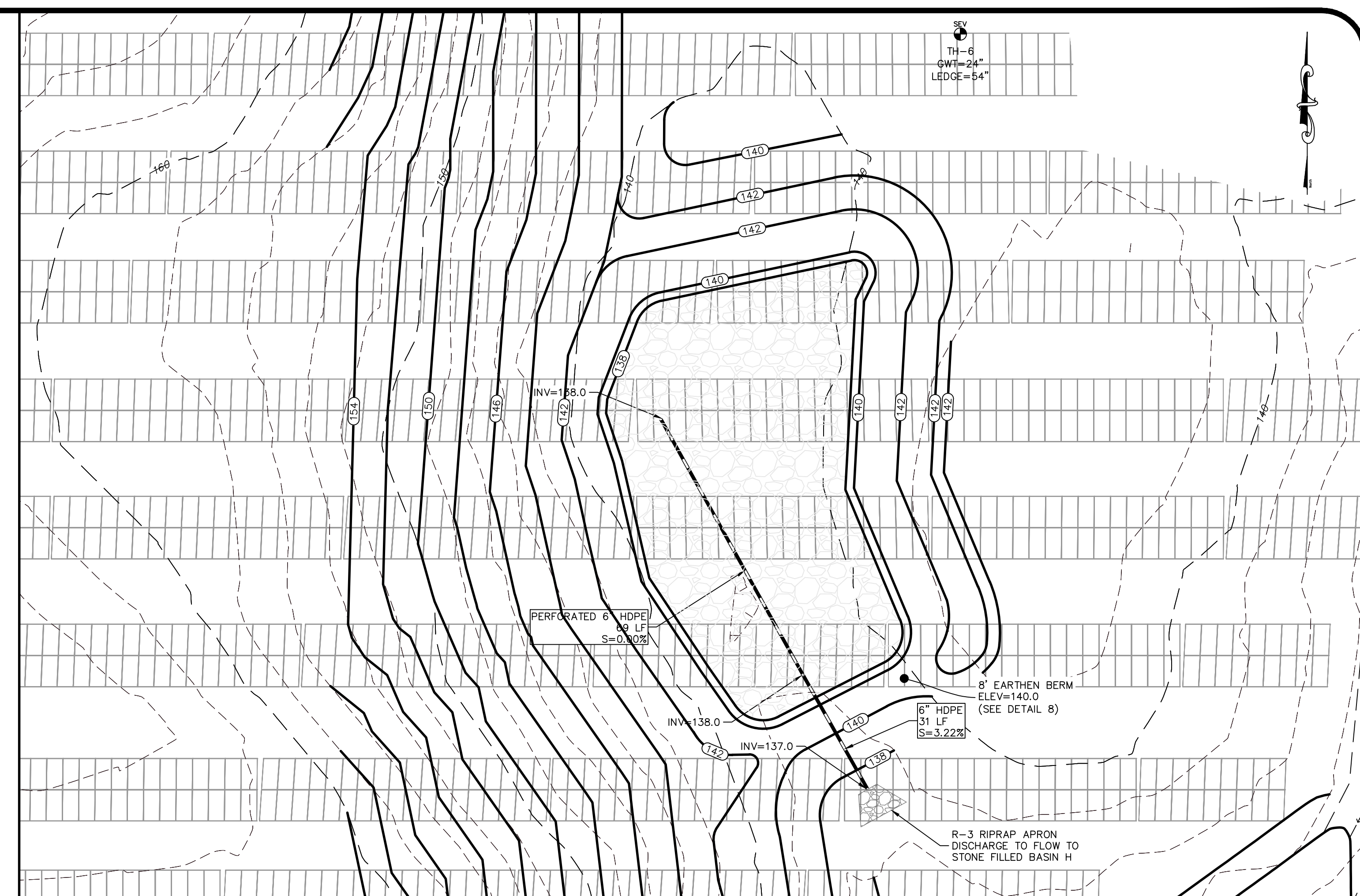
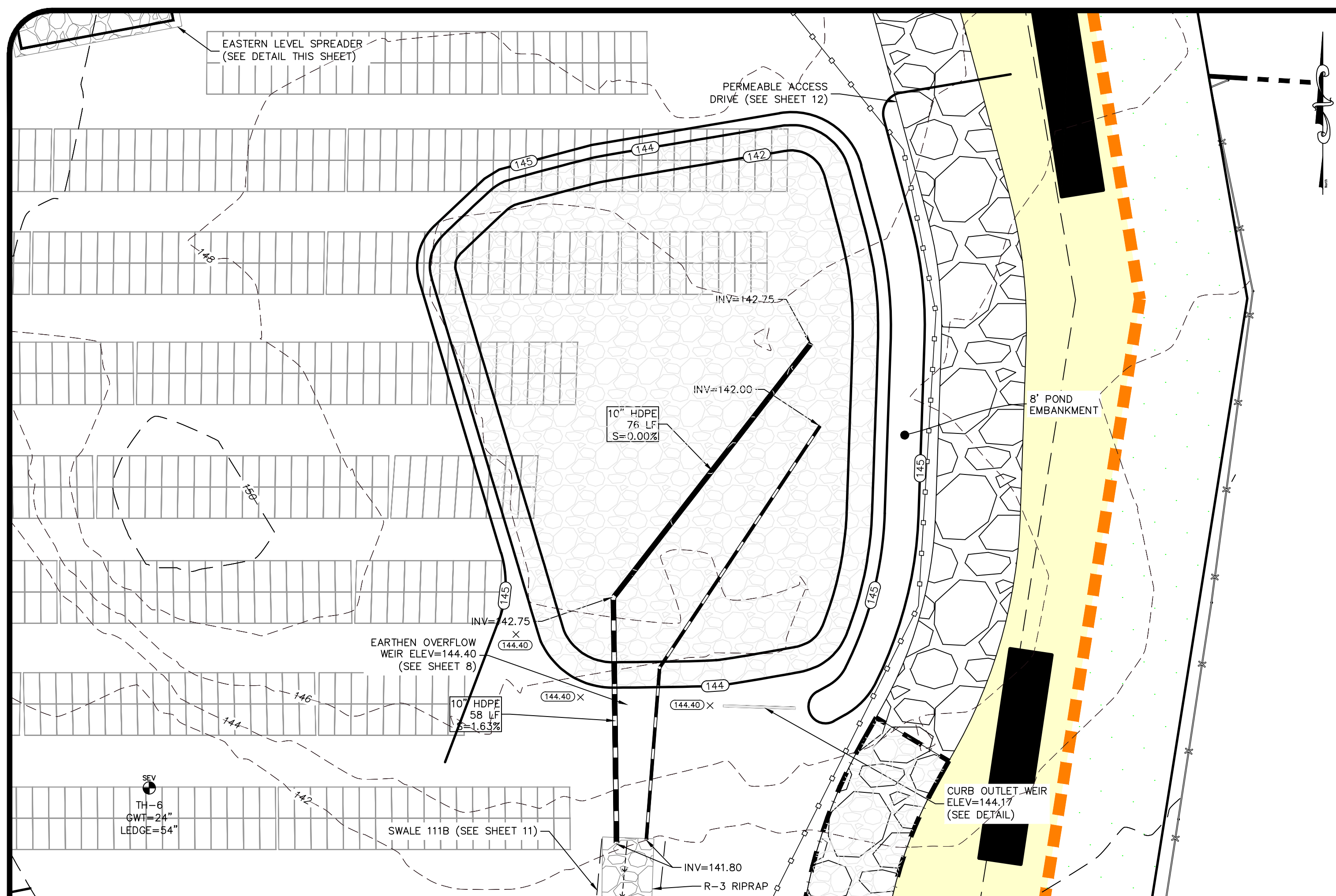
Diprete Engineering

Two Stafford Court Cranston, RI 02920  
tel: 401-943-1000 fax: 401-464-6006 www.diprete-eng.com

Boston • Providence • Newport

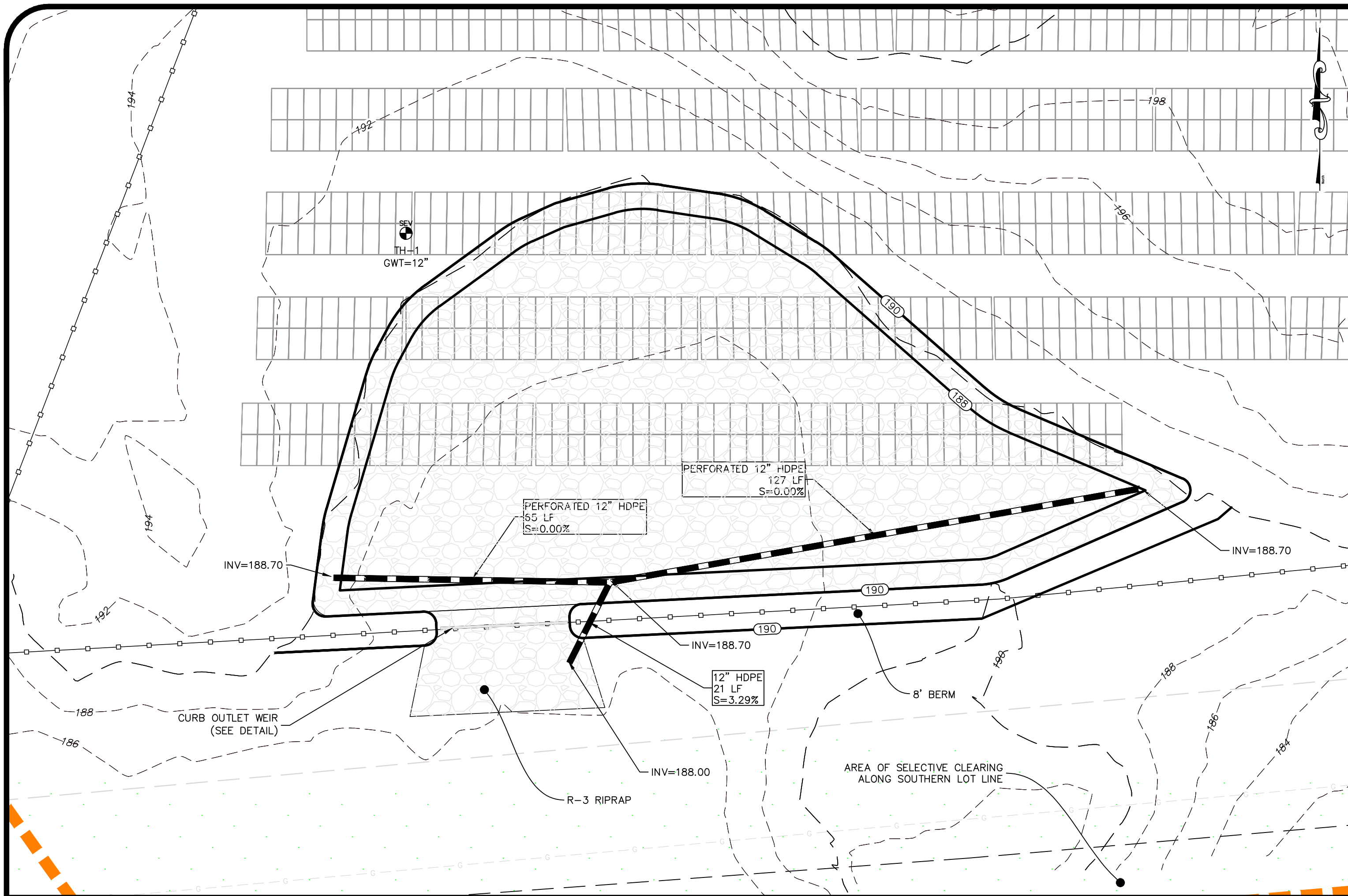
KEVIN DEMERS  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL





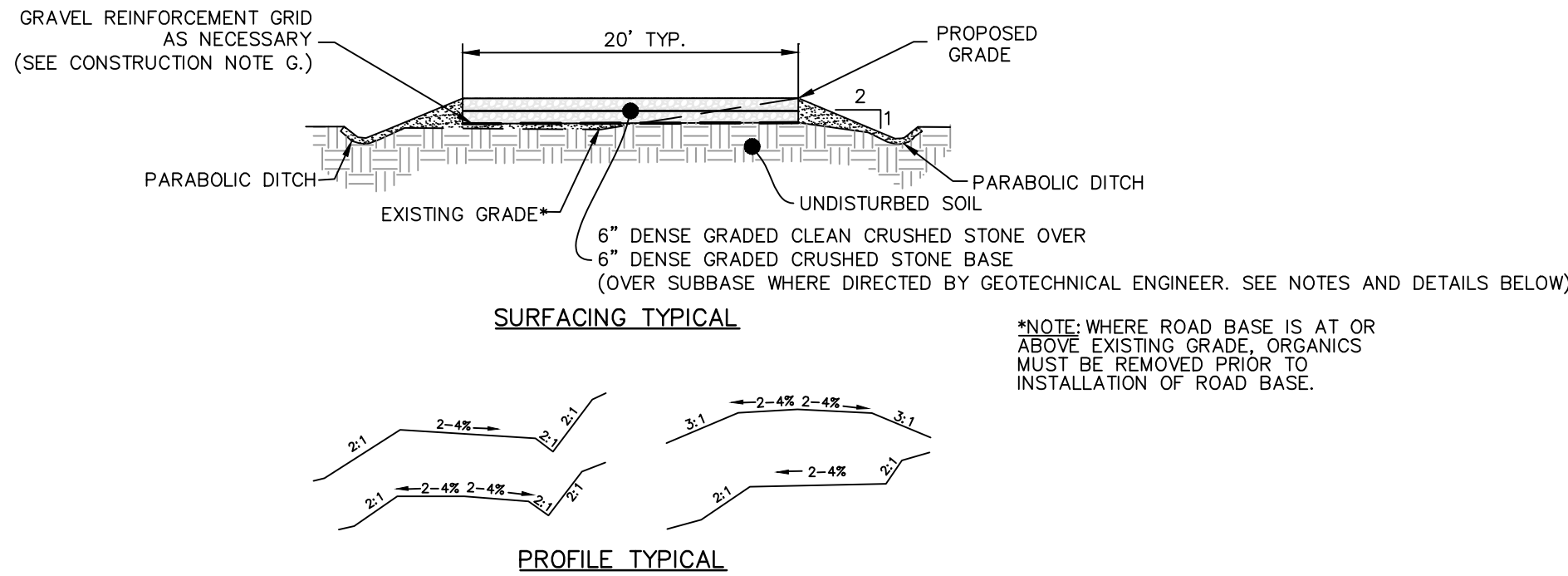


z:\demain\project\2437-015 natick avenue solar\autocad drawings\2437-015-plan.dwg Plotter: 10/17/2022





z:\dmain\project\3437-015 natick avenue solar\autocad drawings\3437-015-con.dwg Plotter: 10/17/2022



CLEAN CRUSHED STONE SPECIFICATIONS	
SIEVE DESIGNATION	PERCENTAGE BY MASS (WEIGHT) PASSING SQUARE MESH SIEVES
90mm (3.5in)	100
75mm (3in)	90-100
50mm (2in)	75-100
25mm (1in)	50-80
12.5mm (0.5in)	30-60
4.75mm (No.4)	0-40
7.5um (No. 200)	0

**DENSE GRADED CLEAN CRUSHED STONE:**

A. DENSE GRADED CLEAN CRUSHED STONE MUST CONSIST OF CLEAN, WASHED, HARD, UNIFORMLY GRADED, CRUSHED STONE. IT MUST BE SUFFICIENTLY FREE FROM DIRT, DELETERIOUS MATERIAL, AND PIECES THAT ARE STRUCTURALLY WEAK AND MUST MEET THE FOLLOWING REQUIREMENTS:

B. SOURCE OF MATERIAL MUST BE OBTAINED FROM AREAS STRIPPED AND CLEANED OF SOIL AND DEBRIS BEFORE BLASTING

C. MATERIAL COARSER THAN THE 4.75mm (No. 4) SIEVE MUST NOT BE MORE THAN 30 PERCENT, BY MASS (WEIGHT), OF THIN AND/OR ELONGATED PIECES.

BASE SPECIFICATIONS	
SIEVE DESIGNATION	PERCENTAGE BY MASS (WEIGHT) PASSING SQUARE MESH SIEVES
90mm (3.5in)	100
75mm (3in)	90-100
50mm (2in)	75-100
25mm (1in)	50-80
12.5mm (0.5in)	30-60
4.75mm (No.4)	15-40
7.5um (No. 200)	0-6

**DENSE GRADED CRUSHED STONE FOR BASE:**

A. DENSE GRADED CRUSHED STONE FOR BASE MUST CONSIST OF CLEAN, WASHED, HARD, UNIFORMLY GRADED, CRUSHED STONE. IT MUST BE SUFFICIENTLY FREE FROM DIRT, DELETERIOUS MATERIAL, AND PIECES THAT ARE STRUCTURALLY WEAK AND MUST MEET THE FOLLOWING REQUIREMENTS:

B. SOURCE OF MATERIAL MUST BE OBTAINED FROM AREAS STRIPPED AND CLEANED OF SOIL AND DEBRIS BEFORE BLASTING

C. MATERIAL COARSER THAN THE 4.75mm (No. 4) SIEVE MUST NOT BE MORE THAN 30 PERCENT, BY MASS (WEIGHT), OF THIN AND/OR ELONGATED PIECES.

SUBBASE SPECIFICATIONS (WHERE DIRECTED)			
CONDITIONS:	ROAD THICKNESS	STONE SIZE	FINES
SUBBASE LAYER WITH GEOTEXTILE FABRIC (NOT EXCESSIVELY WET)	4" MIN.	3-3 1/2	0-6%
SUBBASE LAYER WITH GEOTEXTILE FABRIC (WET CONDITIONS)	6" MIN.	3-3 1/2	0-6%

**CONSTRUCTION NOTE:**

A. CONSTRUCTION OPERATIONS MUST BE CARRIED OUT IN SUCH A MANNER TO MINIMIZE POTENTIAL EROSION AND WATER QUALITY DEGRADATION.

B. FIXED EROSION CONTROLS AND SITE STABILIZATION MUST BE CONDUCTED IN ACCORDANCE WITH APPROVED BMP'S OR PURSUANT TO PROJECT SPECIFIC PERMITS.

C. TREES, STUMPS, ROOTS, BRUSH AND WEEDS MUST BE REMOVED FROM THE WORK AREA IF DETERMINED NECESSARY TO SAFELY CONSTRUCT ROADWAY.

D. ON WEAK BEARING SOIL SUCH AS LOOSE ALLUVIAL, OR WETLAND SOILS, SURFACE TREATMENTS SHOULD BE UNDERLAIN WITH WOVEN GEOTEXTILES.

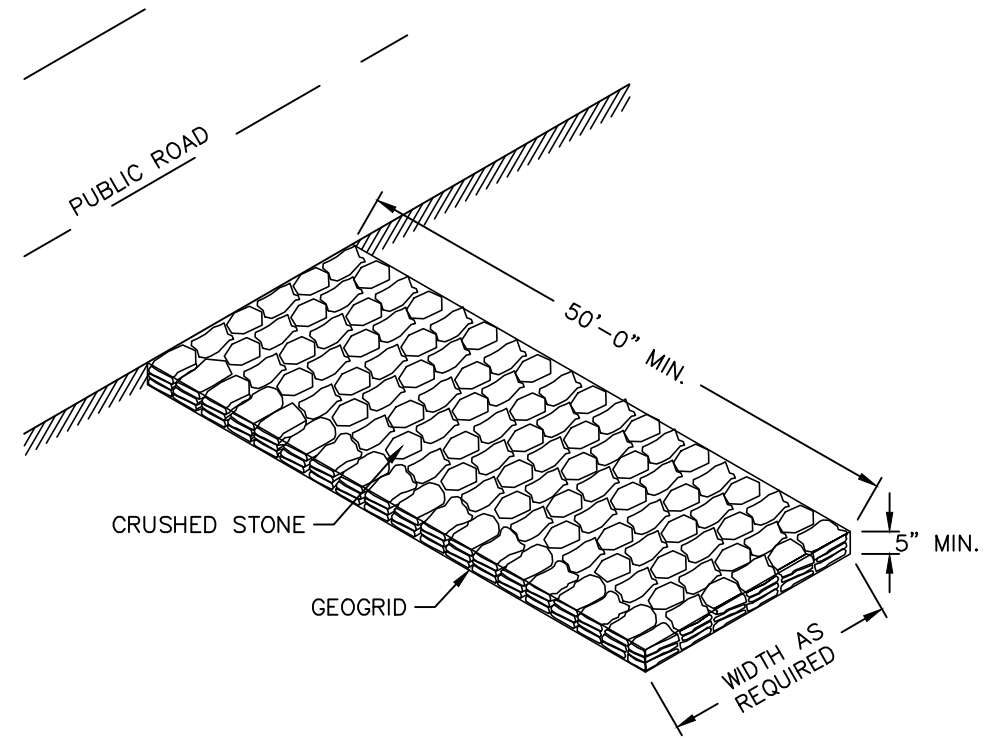
E. AT MINIMUM, ROADSIDE DITCHES MUST BE 1FT BELOW ROAD SURFACE.

F. DISCHARGE POINTS FOR DITCHES MUST NOT BE NEAR WETLANDS OR STREAMS, AND OR BE LOCATED AT THE DIRECTION OF THE DESIGN ENGINEER.

G. CONTRACTOR TO INSTALL GRAVEL REINFORCEMENT GRID AS NECESSARY TO PREVENT EROSION AND/OR VEHICULAR DAMAGE TO THE ACCESS ROAD.

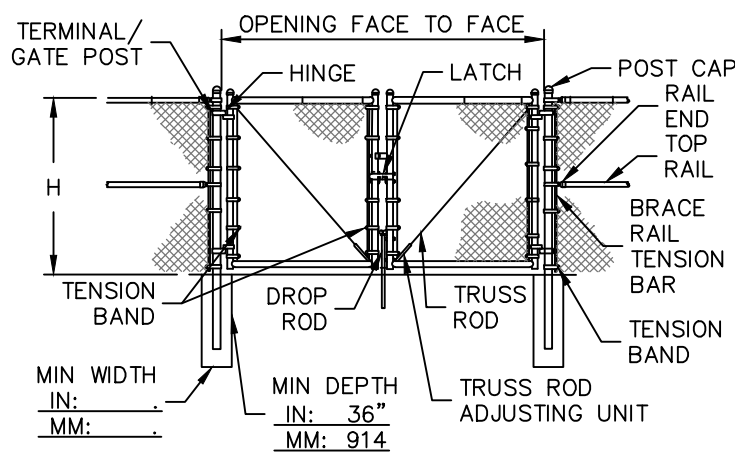
#### Crushed Stone Access Path Detail

NOT TO SCALE



#### Construction Access

NOT TO SCALE



**NOTE:**

1. METRIC DIMENSIONS ARE NOMINAL EQUIVALENTS TO U.S. DIMENSIONS.

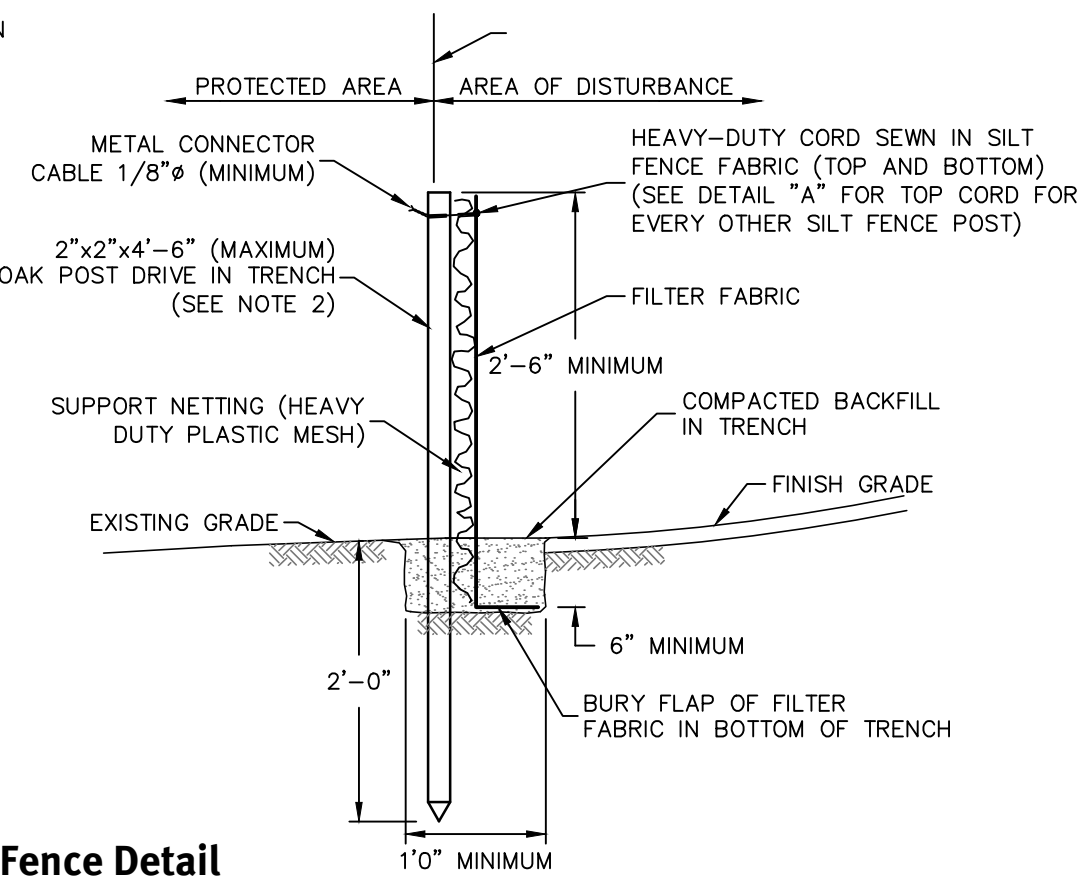
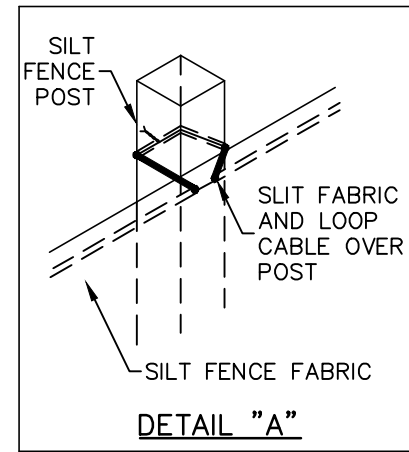
2. SPECIFICATIONS SHOWN CAN BE CHANGED BY THE MANUFACTURER ONLY.

3. FOOTING WIDTH TO BE (4)X POST WIDTH.

#### Double Swing Gate 12' Opening

NOT TO SCALE

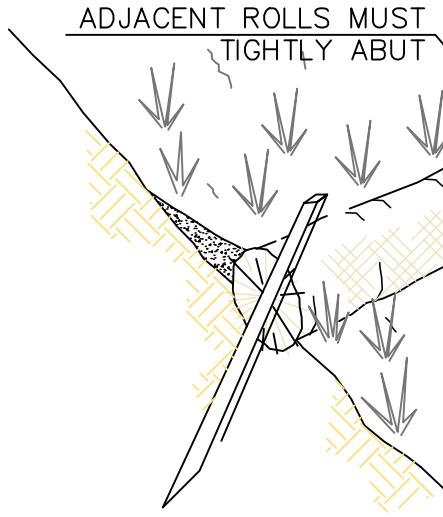
- NOTES:**
- 2"x2"x4'-6" (MAXIMUM) OAK POSTS FOR SILT FENCE MUST BE LOCATED 8'-0" (MAXIMUM) O.C. IN WETLAND AREAS AND 4'-0" (MAXIMUM) O.C. IN WETLAND RAVINE, GULLY OR DROP-OFF AREAS AS SHOWN ON PLANS.
  - 1"x1"x4'-6" (MINIMUM) POSTS PERMITTED FOR PRE-FABRICATED SILT FENCE.
  - SILT FENCE MUST BE INSTALLED BEFORE ANY GRUBBING OR EARTH EXCAVATION TAKES PLACE.



#### Silt Fence Detail

NOT TO SCALE

1"x1"x3' WOODEN STAKES TO BE INSTALLED EVERY 4' AND AT THE END OF EACH WATTLE (6 STAKES PER WATTLE)



1"x1"x3' WOODEN STAKES TO BE INSTALLED EVERY 4' AND AT THE END OF EACH WATTLE (6 STAKES PER WATTLE)

(11.5" DIA. X 25' LENGTH)

STRAW WATTLES MANUFACTURED BY EARTH SAVERS

ITEM # ES11.518PRP

WWW.EARTH-SAVERS.COM

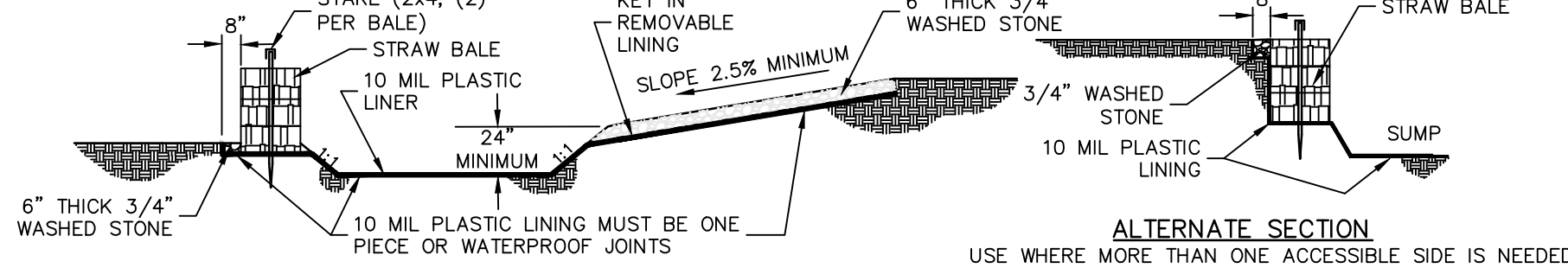
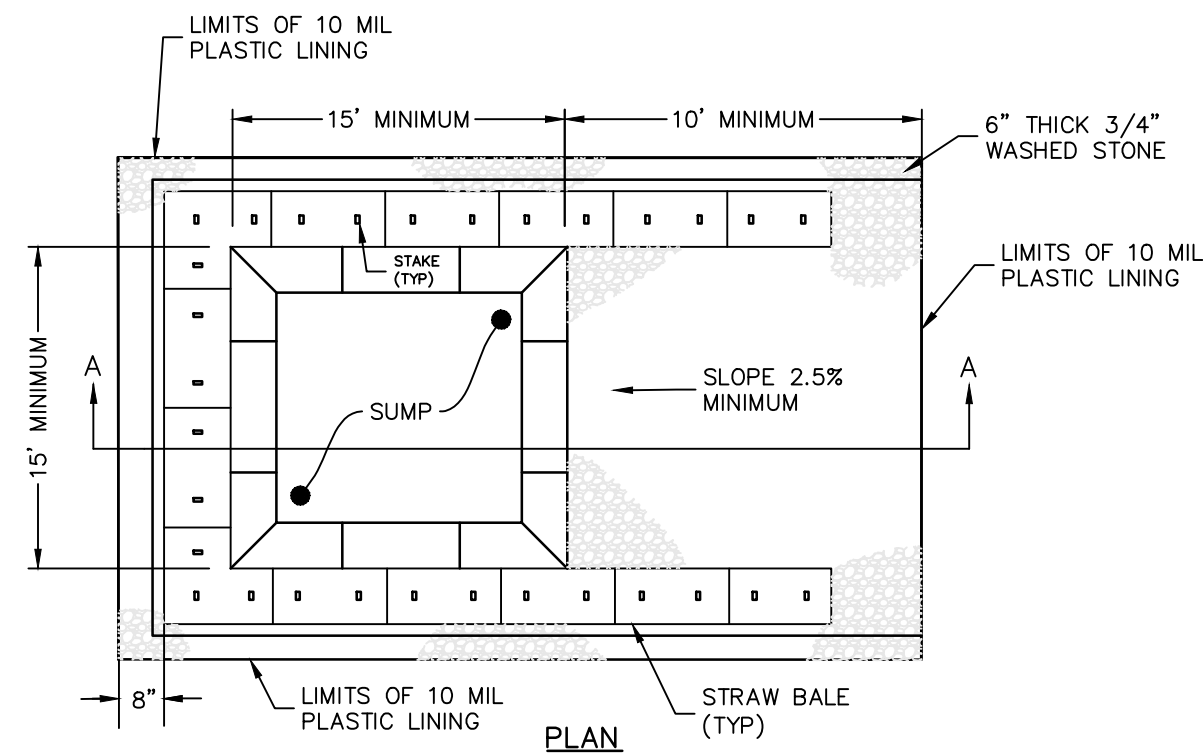
**NOTE:**

EROSION CONTROL BARRIER TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS

CROSS SECTION VIEW

#### Straw Wattle Sediment Barrier

NOT TO SCALE



#### SECTION A-A

#### NOTES:

- PIT IS SPECIFICALLY DESIGNATED, DIKED AND IMPERVIOUS TO PREVENT CONTACT BETWEEN CONCRETE WASH AND STORMWATER.
- WASH WATER MUST NOT BE ALLOWED TO FLOW TO SURFACE WATER.
- FACILITY MUST HOLD SUFFICIENT VOLUME TO CONTAIN CONCRETE WASTE WITH A MINIMUM FREEBOARD OF 12."
- FACILITY MUST NOT BE FILLED BEYOND 95% CAPACITY UNLESS A NEW FACILITY IS CONSTRUCTED.
- SAWCUT PORTLAND CEMENT CONCRETE, RESIDUE FROM SAWCUT AND GRINDING MUST BE DISPOSED OF IN THE PIT.
- CONCRETE WASHOUTS MUST BE LOCATED A MINIMUM OF 100' FROM DRAINAGE WAYS, INLETS AND SURFACE WATERS.
- MANUFACTURED CONCRETE WASHOUT DEVICES MAY BE USED IF REMOVED FROM THE SITE WHEN 95% FULL CAPACITY.

#### Concrete Washout Area

(NOT TO SCALE)

#### GENERAL NOTES:

- THE TEMPORARY SEDIMENT TRAP MUST MEET ALL REQUIREMENTS FOR TEMPORARY SEDIMENT TRAPS OUTLINED IN THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK (LATEST REVISION) SECTION SIX: SEDIMENT CONTROL MEASURES
- THE TEMPORARY SEDIMENT TRAP MUST HAVE AN INITIAL STORAGE VOLUME OF 134 CUBIC YARDS PER ACRE OF DRAINAGE AREA.
- ALL OUT AND FILL SLOPES MUST BE 2:1 OR FLATTER EXCEPT FOR THE EXCAVATED WET STORAGE AREA WHERE SLOPES MUST NOT EXCEED 1.5:1.
- THE OUTLET MUST BE LOCATED AT THE MOST DISTANT HYDRAULIC POINT FROM THE INLET.
- THE OUTLET MUST CONSIST OF A PERVIOUS STONE DIKE WITH A CORE OF MODIFIED RIPRAP AND FACED ON THE UPSTREAM SIDE WITH STONE.
- TEMPORARY SEDIMENT TRAPS MUST OUTLET ONTO STABILIZED GROUND.
- MAXIMUM HEIGHT OF A TEMPORARY SEDIMENT TRAP EMBANKMENT IS LIMITED TO 5 FEET.
- SIDE SLOPES OF THE EMBANKMENT MUST BE 2:1 OR FLATTER.
- MODIFIED RIPRAP: MUST MEET THE REQUIREMENTS OF RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SUBSECTION M.10.03.2.
- FILTER STONE: MUST MEET THE REQUIREMENTS OF RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SUBSECTION M.01.03 TABLE I, COLUMN V FILTER STONE.

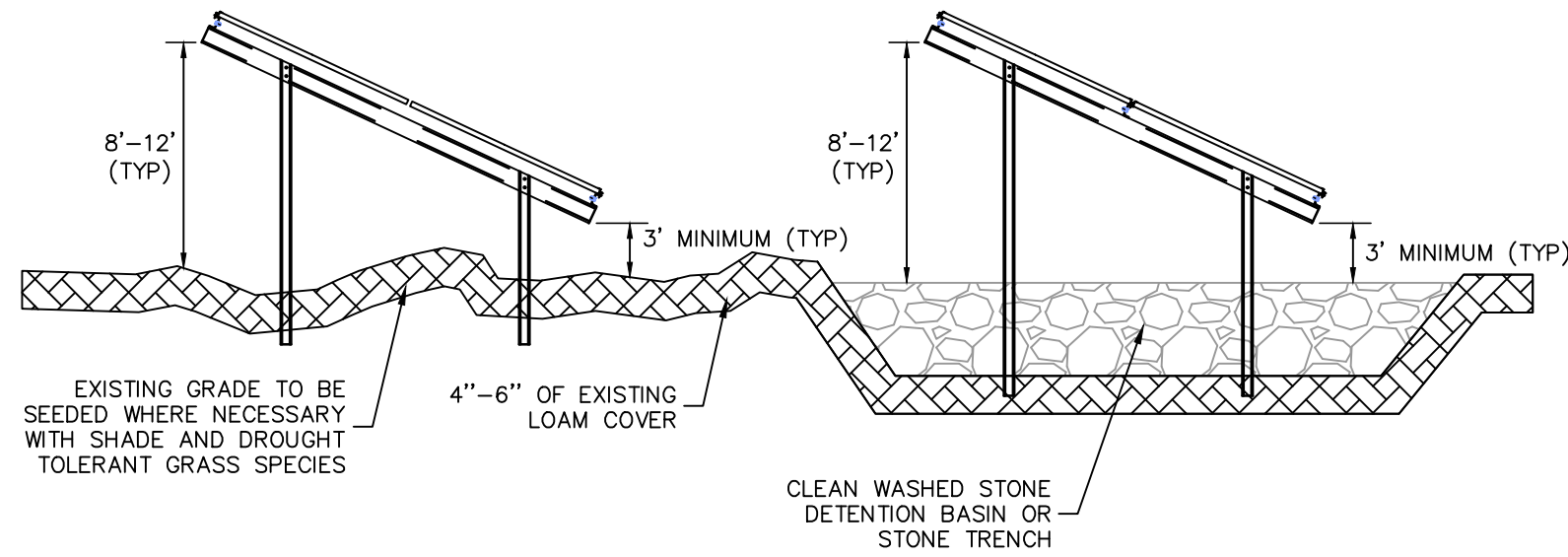
#### INSPECTION, MAINTENANCE, AND REMOVAL REQUIREMENTS:

- INSTALL "SEDIMENT STORAGE" STAKE WITH A MARKER AT ONE HALF OF THE WET STORAGE VOLUME.
- INSPECT THE TEMPORARY SEDIMENT TRAP AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.25 INCH OR GREATER.
- CHECK THE OUTLET TO ENSURE THAT IT IS STRUCTURALLY SOUND AND HAS NOT BEEN DAMAGED BY EROSION OR CONSTRUCTION EQUIPMENT.
- CHECK FOR SEDIMENT ACCUMULATION AND FILTRATION PERFORMANCE.
- WHEN SEDIMENTS HAVE ACCUMULATED TO ONE HALF THE MINIMUM REQUIRED VOLUME OF THE WET STORAGE, DEWATER THE TRAP AS NEEDED, REMOVE SEDIMENTS AND RESTORE THE TRAP TO ITS ORIGINAL DIMENSIONS.
- DISPOSE OF THE SEDIMENT REMOVED FROM THE BASIN IN A SUITABLE AREA.
- THE TEMPORARY SEDIMENT TRAP MAY BE REMOVED AFTER THE CONTRIBUTING DRAINAGE AREA IS STABILIZED.

#### Temporary Sediment Trap Notes

#### INSTALLATION NOTES:

- CLEAR, GRUB AND STRIP ANY VEGETATION AND ROOT MAT FROM ANY PROPOSED EMBANKMENT AND OUTLET AREA.
- REMOVE STONES AND ROCKS WHOSE DIAMETER IS GREATER THAN THREE (3) INCHES AND OTHER DEBRIS.
- EXCAVATE WET STORAGE AND CONSTRUCT THE EMBANKMENT AND/OR OUTLET AS NEEDED TO ATTAIN THE NECESSARY STORAGE REQUIREMENTS.
- USE ONLY FILL MATERIAL FOR THE EMBANKMENT THAT IS FREE FROM EXCESSIVE ORGANICS, DEBRIS, LARGE ROCKS (OVER SIX (6) INCHES) OR OTHER UNSUITABLE MATERIALS. COMPACT THE EMBANKMENT IN 9-INCH LAYERS BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED
- STABILIZE THE EARTHEN EMBANKMENT USING ANY OF THE FOLLOWING MEASURES: SEEDING FOR TEMPORARY VEGETATIVE COVER, SEEDING FOR PERMANENT VEGETATIVE COVER, OR SLOPE PROTECTION, IMMEDIATELY AFTER INSTALLATION



**NOTE:**

1. TOPSOIL ON SITE MUST BE PRESERVED. TOPSOIL MUST NOT BE EXPORTED FROM THE SITE.

#### Onsite Grading Material and PV Array

#### Distance Scheme - Tilt, Angle and Shading Detail

NOT TO SCALE

#### Detail Sheet

#### Natick Avenue Solar

Assessor's Plat 22-3 Lots 108 & 119

Client

Natick Solar, LLC

17 Natick Center Blvd #2007, Natick, Rhode Island 02886

tel: 401-371-2001

This regulatory submission set shall not be used for construction purposes unless stamped 'Issued for Construction' and signed by a DiPrete Engineering representative.

The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA conformance in the implementation of this plan and design.

No.	Date	Description	Design By: SEK
1	10/17/2022	Master Plan Re-submission	
2	10/17/2022	Master Plan Re-submission	
3	10/17/2022	Master Plan Re-submission	
4	10/17/2022	Master Plan Re-submission	
5	10/17/2022	Master Plan Re-submission	
6	10/17/2022	Master Plan Re-submission	
7	10/17/2022	Master Plan Re-submission	
8	10/17/2022	Master Plan Re-submission	
9	10/17/2022	Master Plan Re-submission	
10	10/17/2022	Master Plan Re-submission	
11	10/17/2022	Master Plan Re-submission	
12	10/17/2022	Master Plan Re-submission	
13	10/17/2022	Master Plan Re-submission	
14	10/17/2022	Master Plan Re-submission	
15	10/17/2022	Master Plan Re-submission	
16	10/17/2022	Master Plan Re-submission	
17	10/17/2022	Master Plan Re-submission	
18	10/17/2022	Master Plan Re-submission	
19	10/17/2022	Master Plan Re-submission	
20	10/17/2022	Master Plan Re-submission	



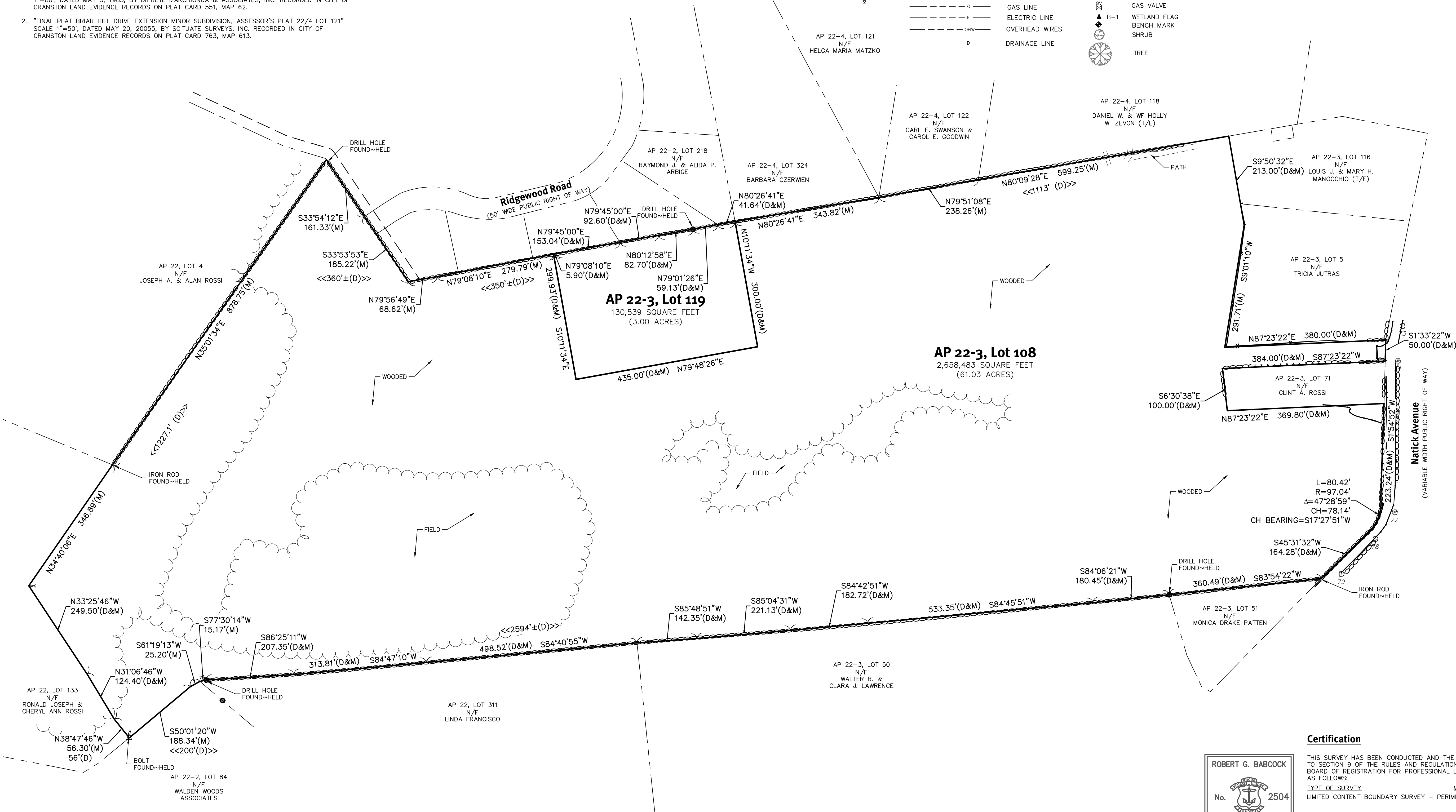
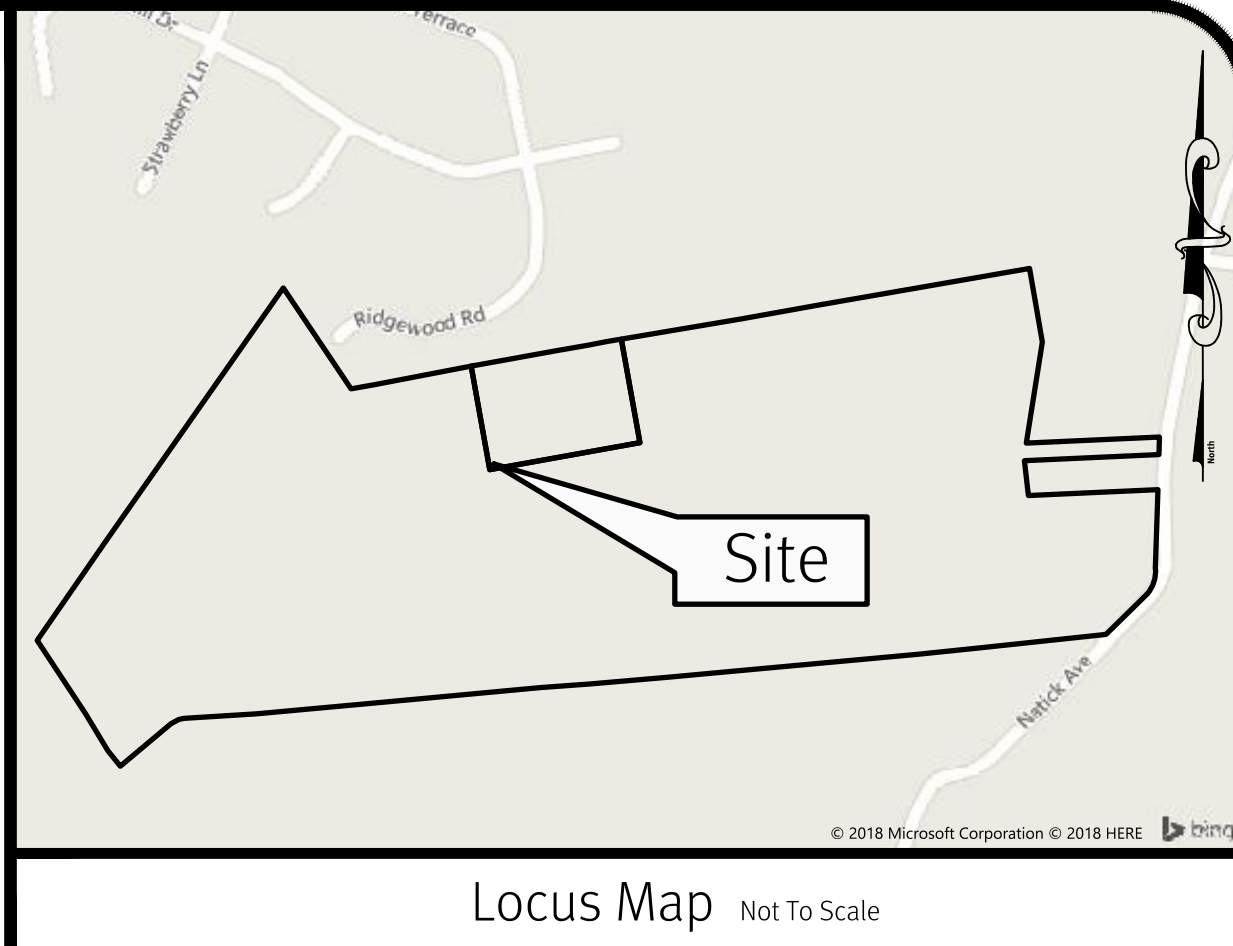
General Notes

1. THE PARCEL IS FOUND ON ASSESSOR'S PLAT 22, LOT 108 & 119 IN THE CITY OF CRANSTON, PROVIDENCE COUNTY, RHODE ISLAND.
2. THE OWNER PER DEED BOOK 853, PAGE 793 IS RONALD ROSSI.
3. BASED ON GRAPHICAL PLOTTING ONLY, THE PARCEL IS LOCATED IN X PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 44007C0407G, DATED MARCH 2, 2009 & MAP 44003C0126H, DATED OCTOBER 2, 2015. THIS DESIGNATION MAY CHANGE BASED UPON REVIEW BY A FLOOD ZONE SPECIALIST OR BY THE RESULTS OF A COMPREHENSIVE FLOOD STUDY.
4. THE PARCEL IS ZONED A80 BASED ON VISION GOVERNMENT SOLUTIONS CRANSTON. ANY OVERLAY DISTRICTS, SPECIAL PERMITS OR VARIANCES SPECIFIC TO THIS SITE ARE NOT TAKEN INTO CONSIDERATION. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
5. THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
6. FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON OCTOBER 4, 2018. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
7. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.

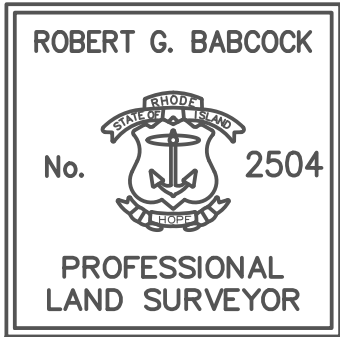
Plan References:

1. "SUBDIVISION PLAN OF BRIAR HILL PHASE III, SITUATED IN CRANSTON, RHODE ISLAND" SCALE 1"=80', DATED MAY 5, 1985, BY DIPRETE MARCHIONDA & ASSOCIATES, INC. RECORDED IN CITY OF CRANSTON LAND EVIDENCE RECORDS ON PLAT CARD 551, MAP 62.
2. "FINAL PLAT BRIAR HILL DRIVE EXTENSION MINOR SUBDIVISION, ASSESSOR'S PLAT 22/4 LOT 121" SCALE 1"=50', DATED MAY 20, 2005S, BY SCITUATE SURVEYS, INC. RECORDED IN CITY OF CRANSTON LAND EVIDENCE RECORDS ON PLAT CARD 763, MAP 613.

Legend	
NOT ALL ITEMS SHOWN WILL APPEAR ON THE SURVEY	
BUILDING	ASSESSOR'S PLAT
AP	NOW OR FORMERLY
N/F	DEED
(D)	MEASURED
(M)	CHORD ANGLE
(CA)	HANDICAPPED
HC	PROPERTY LINE
	ASSESSORS LINE
	TREELINE
	GUARDRAIL
	FENCE
	RETAINING WALL
	STONE WALL
	MINOR CONTOUR LINE
	MAJOR CONTOUR LINE
	WATER LINE
	SEWER LINE
	SEWER FORCE MAIN
	GAS LINE
	ELECTRIC LINE
	OVERHEAD WIRES
	DRAINAGE LINE
	NAIL FOUND/SET
	DRILL HOLE FOUND/SET
	IRON ROD/PIPE FOUND/SET
	BOUND FOUND/SET
	SIGN
	BOLLARD
	SOIL EVALUATION
	CATCH BASIN
	DOUBLE CATCH BASIN
	DRAINAGE MANHOLE
	FLARED END SECTION
	GUY POLE
	ELECTRIC MANHOLE/HANDHOLE
	UTILITY/POWER POLE
	LIGHTPOST
	SEWER/SEPTIC MANHOLE
	SEWER VALVE
	CLEANOUT
	HYDRANT
	IRRIGATION VALVE
	WATER VALVE
	WELL
	MONITORING WELL
	UNKNOWN MANHOLE
	GAS VALVE
	WETLAND FLAG
	BENCH MARK
	SHRUB
	TREE



Certification



THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON JANUARY 1, 2016, AS FOLLOWS:

TYPE OF SURVEY: LIMITED CONTENT BOUNDARY SURVEY - PERIMETER CLASS I

MEASUREMENT SPECIFICATION:

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: PERIMETER RETRACEMENT PERFORMED BY DIPRETE ENGINEERING FOR THE PURPOSE OF SITE ENGINEERING AND PERMITTING.

ROBERT G. BABCOCK, RIPLS #2504, COA #LS.000A160

Boundary Survey  
Natick Avenue Solar

Client  
Southern Sky Renewable Energy RI, LLC  
117 Metro Center Blvd #2007, Warwick, Rhode Island 02886  
tel 781-371-2001



LANDSCAPE PLANS

NATICK AVENUE SOLAR

LOCATED AT:

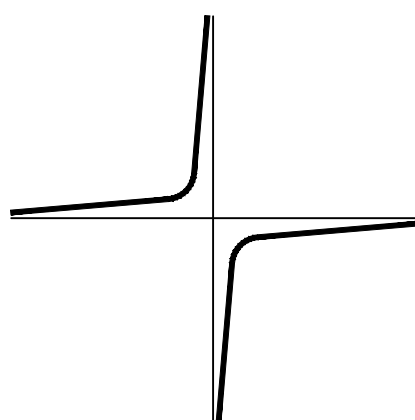
Natick Avenue  
Assessor's Plat 22-3, Lots 108 & 119  
Cranston, Rhode Island

PREPARED FOR THE:

REVITY ENERGY, LLC  
117 Metro Center Blvd.  
Warwick, Rhode Island

SHEET INDEX

NUMBER	TITLE	ISSUED FOR PERMITTING			REVISIONS				
	COVER SHEET								
1	BUFFER PLAN	05-08-2020	07-22-2020	10-07-2020	10-22-2020	11-30-2020	01-14-2021		01-03-2022
2	CROSS SECTIONS 1, 2, & 3	05-08-2020	07-22-2020	10-07-2020	10-22-2020	11-30-2020			
3	CROSS SECTIONS 4, 5, & 6	05-08-2020	07-22-2020	10-07-2020	10-22-2020				
4	CROSS SECTIONS 7, 8 & 9	05-08-2020	07-22-2020	10-07-2020	10-22-2020				
5	CROSS SECTIONS 10, 11, 12	05-08-2020	07-22-2020	10-07-2020	10-22-2020				
6	CROSS SECTIONS 13 & 14			10-07-2020	10-22-2020	11-30-2020	01-14-2021	01-15-2021	01-03-2022



PREPARED BY:

JOHN C. CARTER & CO., INC.

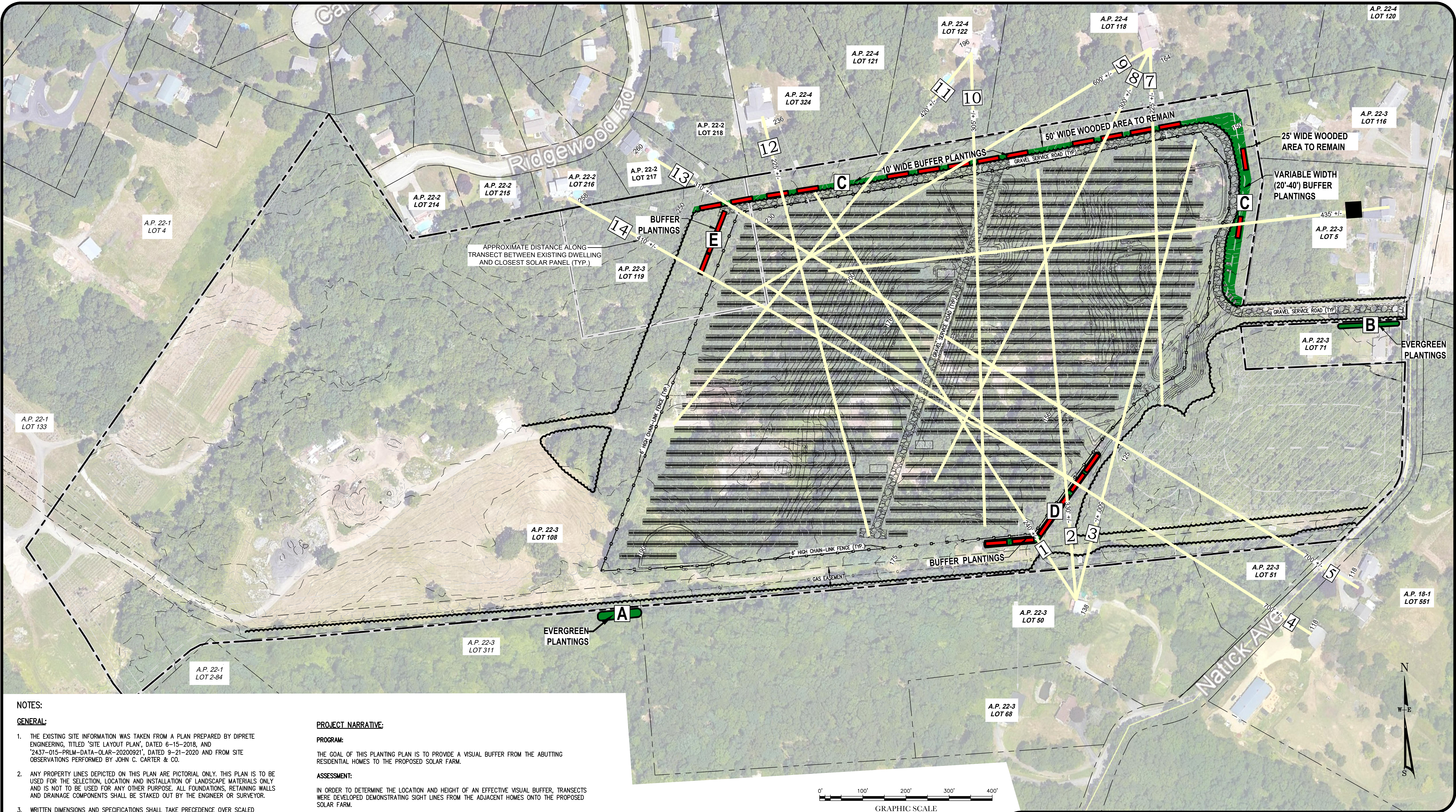
960 BOSTON NECK RD., NARRAGANSETT, RI  
(401) 783 - 3500

LANDSCAPE ARCHITECTURE  
DESIGN & BUILD

ENGINEER

DiPrete Engineering  
2 Stafford Court  
Cranston, Rhode Island  
401-943-1000





NOTES:

GENERAL:

1. THE EXISTING SITE INFORMATION WAS TAKEN FROM A PLAN PREPARED BY DIPRETE ENGINEERING, TITLED 'SITE LAYOUT PLAN', DATED 6-15-2018, AND '2437-015-PRLM-DATA-OLAR-20200921', DATED 9-21-2020 AND FROM SITE OBSERVATIONS PERFORMED BY JOHN C. CARTER & CO.
2. ANY PROPERTY LINES DEPICTED ON THIS PLAN ARE PICTORIAL ONLY. THIS PLAN IS TO BE USED FOR THE SELECTION, LOCATION AND INSTALLATION OF LANDSCAPE MATERIALS ONLY AND IS NOT TO BE USED FOR ANY OTHER PURPOSE. ALL FOUNDATIONS, RETAINING WALLS AND DRAINAGE COMPONENTS SHALL BE STAKED OUT BY THE ENGINEER OR SURVEYOR.
3. WRITTEN DIMENSIONS AND SPECIFICATIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
4. THE LOCATION OF UTILITIES IF SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES BEFORE ANY EXCAVATION. DIG-SAFE SHALL BE CONTACTED AT LEAST 72 HOURS BEFORE EXCAVATION. DIG-SAFE CAN BE REACHED AT 1-888-344-7233.

NOTE: PLANT AREAS 'A' AND 'B' ARE NOT PART OF THE NATICK AVENUE SOLAR PROJECT UNDER REVIEW BY THE CITY OF CRANSTON. THESE PLANTING AREAS HAVE BEEN INCLUDED FOR ILLUSTRATIVE PURPOSES ONLY AND WILL BE DETERMINED BY PRIVATE AGREEMENTS WITH THE RESPECTIVE PROPERTY OWNERS.

PROJECT NARRATIVE:

PROGRAM:

THE GOAL OF THIS PLANTING PLAN IS TO PROVIDE A VISUAL BUFFER FROM THE ABUTTING RESIDENTIAL HOMES TO THE PROPOSED SOLAR FARM.

ASSESSMENT:

IN ORDER TO DETERMINE THE LOCATION AND HEIGHT OF AN EFFECTIVE VISUAL BUFFER, TRANSECTS WERE DEVELOPED DEMONSTRATING SIGHT LINES FROM THE ADJACENT HOMES ONTO THE PROPOSED SOLAR FARM.

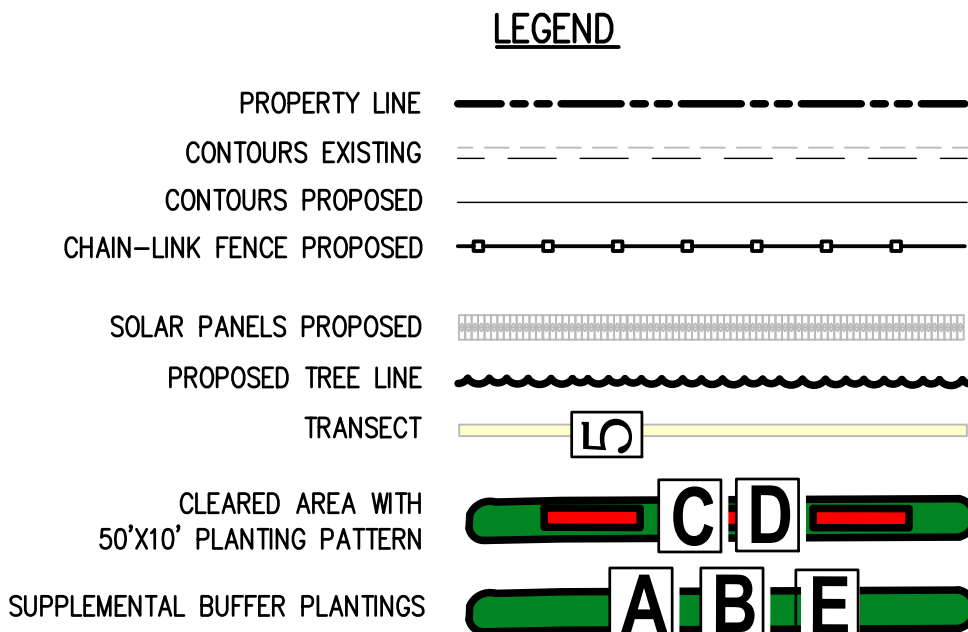
A SIGHT LINE WAS DRAWN FROM AN EYE LEVEL AT EACH RESIDENTIAL PROPERTY TO THE LOCATION OF THE HIGHEST AND LOWEST VISIBLE SOLAR PANEL ALLOWING THE HEIGHT AND LOCATION OF THE BUFFER TO BE DETERMINED.

PROCESS:

AS A RESULT OF ONSITE ANALYSIS AND INVENTORY OF THE EXISTING VEGETATION, IT WAS DETERMINED THAT IN ADDITION TO THE NO CUT BUFFER ADJACENT TO THE NORTHERLY AND EASTERLY PROPERTY LINES, AN ADDITIONAL CLEARED AREA WILL BE PLANTED WITH A MIXTURE OF DECIDUOUS AND EVERGREEN TREES AND SHRUBS.

CONCLUSION:

A COMBINATION OF EXISTING VEGETATION (WHICH IS PROPOSED TO REMAIN) AND SUPPLEMENTAL PLANTINGS (AS DEMONSTRATED ON THE CROSS SECTIONS AND DETAILS) WILL PROVIDE A SIGNIFICANT VISUAL BUFFER BETWEEN THE ADJACENT HOMES AND THE SOLAR FARM.



NO.	DATE	DESCRIPTION	BY
06-01-03-22		CHANGED AREA 'F' TO 'D'	LMW
05-10-13-21		PLANTING AREAS 'D', 'E', 'F'	LMW
04-11-30-20		PLANTING AREAS 'D', 'E', 'F' GRADING	LMW
03-10-07-20		PLANTING PATTERNS & GRADING	LMW
02-10-07-20		BUFFER & TRANSECTS ADDED	LMW
01-17-22-20		GRADING	LMW

**REGISTERED**  
LANDSCAPE ARCHITECT  
NO. 206  
STATE OF RHODE ISLAND

**BUFFER PLAN**

**NATICK AVENUE SOLAR**

ASSESSOR'S PLAT 22-3 LOTS 108 & 119  
CRANSTON, RHODE ISLAND

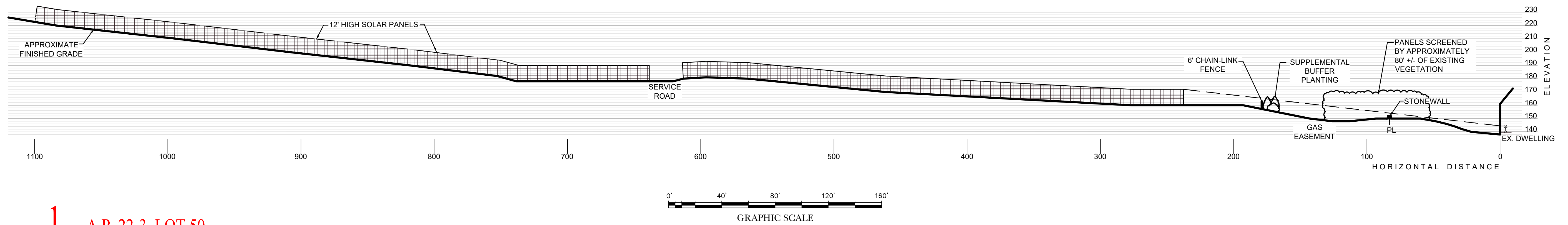
PREPARED BY  
**JOHN C. CARTER & COMPANY, INC.**  
**LANDSCAPE ARCHITECTURE**  
960 Boston Neck Road  
Narragansett, RI 02882  
(401)783-3500 Fax: (401) 792-1327

PREPARED FOR  
**REVITY ENERGY, LLC.**  
117 Metro Center Blvd.  
Warwick, RI

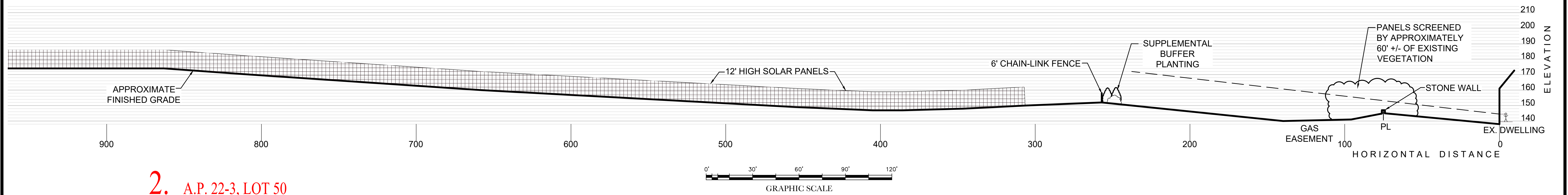
MAY 8, 2020  
DWN. BY: L.M.W.

SHEET **1** OF 6

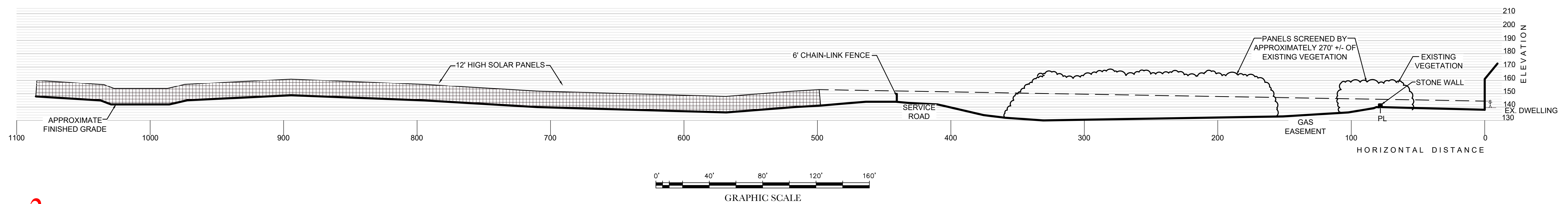




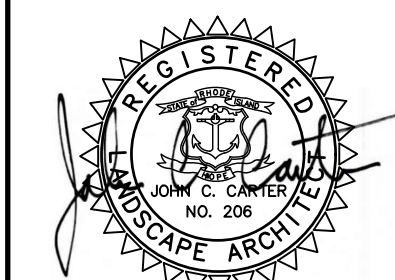
1. A.P. 22-3, LOT 50



2. A.P. 22-3, LOT 50



3. A.P. 22-3, LOT 50



CROSS SECTIONS 1

NATICK AVENUE SOLAR

ASSESSOR'S PLAT 22-3 LOTS 108 & 119  
CRANSTON, RHODE ISLAND

PREPARED BY

JOHN C. CARTER & COMPANY, INC.  
LANDSCAPE ARCHITECTURE

960 Boston Neck Road  
Narragansett, RI 02882  
(401)783-3500 Fax: (401) 792-1327

PREPARED FOR

REVITY ENERGY, LLC.

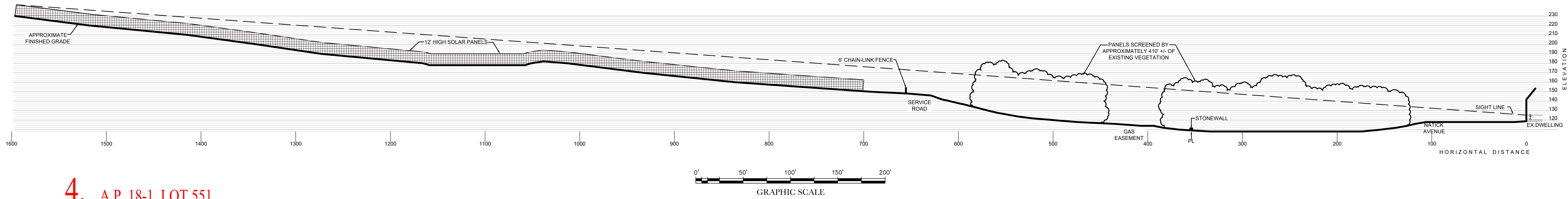
117 Metro Center Blvd.  
Warwick, RI

MAY 8, 2020  
DWN. BY: L.M.W.

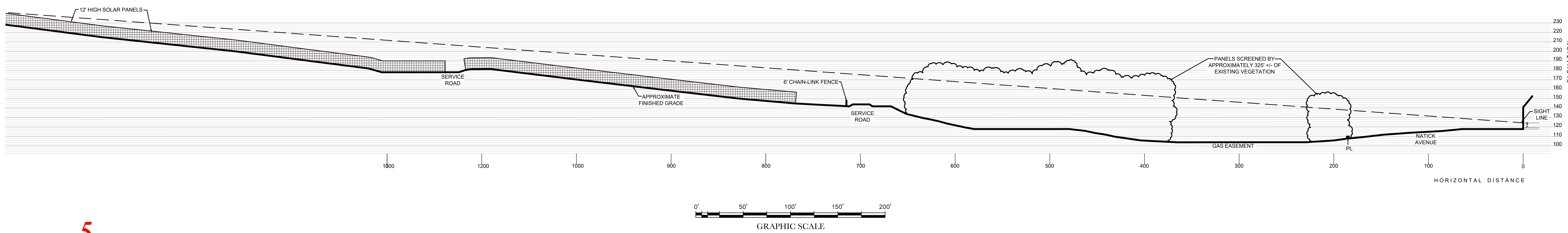
SHEET 2 OF 6

NO.	DATE	DESCRIPTION	BY
04-11-20-20		TRANSECTS UPDATED	L.M.W.
03-10-22-20		TRANSECTS UPDATED	L.M.W.
02-10-07-20		TRANSECTS UPDATED	L.M.W.
01-17-22-20		GRADING	L.M.W.

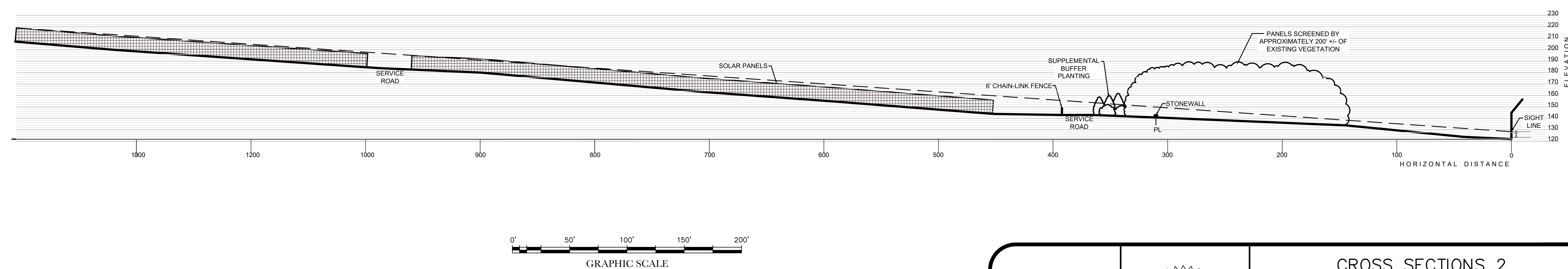




4. A.P. 18-1, LOT 551



5. A.P. 18-1, LOT 551



6. A.P. 22-3, LOT 5

© COPYRIGHT 2020 JOHN C. CARTER & COMPANY, INC.

REGISTERED  
LANDSCAPE ARCHITECT  
NO. 206  
JOHN C. CARTER

NO.	DATE	DESCRIPTION	BY
03/10-22-20		TRANSECTS UPDATED	L.M.W.
02/10-07-20		TRANSECT ADDED	L.M.W.
01/7-22-20		GRADING	L.M.W.

CROSS SECTIONS 2

NATICK AVENUE SOLAR

ASSESSOR'S PLAT 22-3 LOTS 108 & 119  
CRANSTON, RHODE ISLAND

PREPARED BY

**JOHN C. CARTER & COMPANY, INC.**  
LANDSCAPE ARCHITECTURE  
960 Boston Neck Road  
Narragansett, RI 02882  
(401)783-3500 Fax: (401) 792-1327

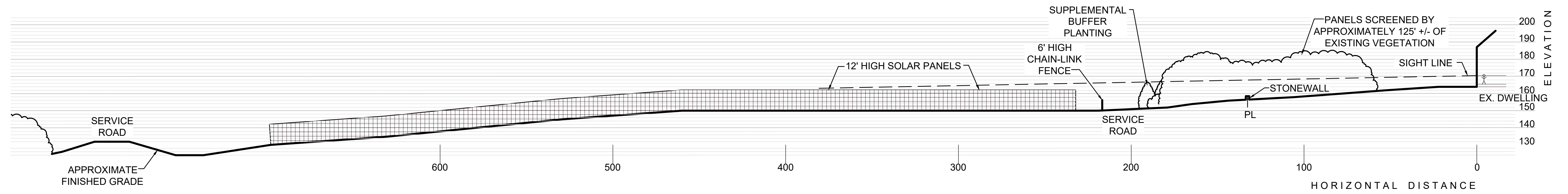
PREPARED FOR

**REVITY ENERGY, LLC.**  
117 Metro Center Blvd.  
Warwick, RI

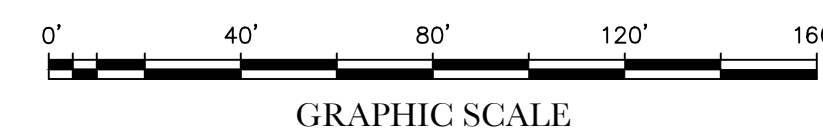
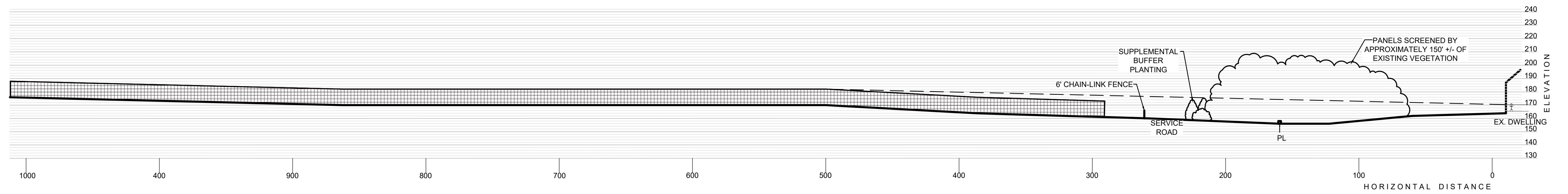
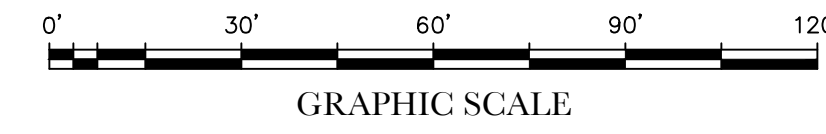
MAY 8, 2020  
DWN. BY: L.M.W.

SHEET **3** OF 6

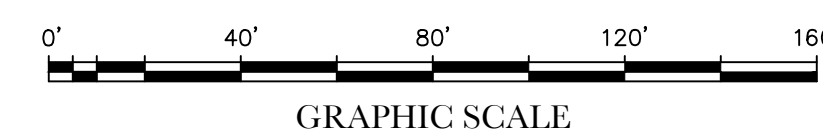
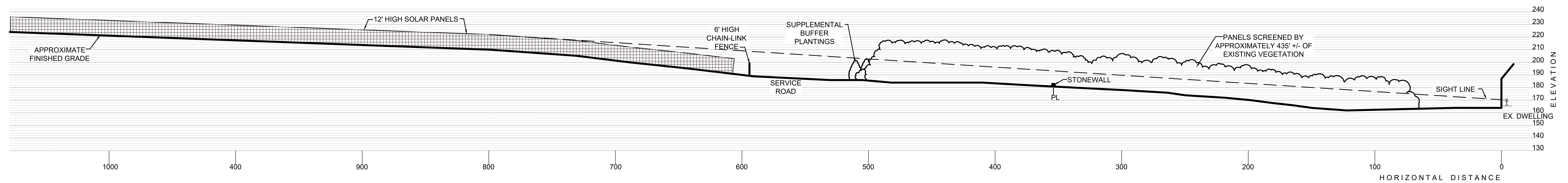




7. A.P. 22-4, LOT 118



8. A.P. 22-4, LOT 118



9. A.P. 22-4, LOT 118



## CROSS SECTIONS 2

### NATICK AVENUE SOLAR

ASSESSOR'S PLAT 22-3 LOTS 108 & 119  
CRANSTON, RHODE ISLAND

PREPARED BY  
**JOHN C. CARTER & COMPANY, INC.**  
LANDSCAPE ARCHITECTURE

960 Boston Neck Road  
Narragansett, RI 02882  
(401)783-3500 Fax: (401) 792-1327

PREPARED FOR  
**REVITY ENERGY, LLC.**

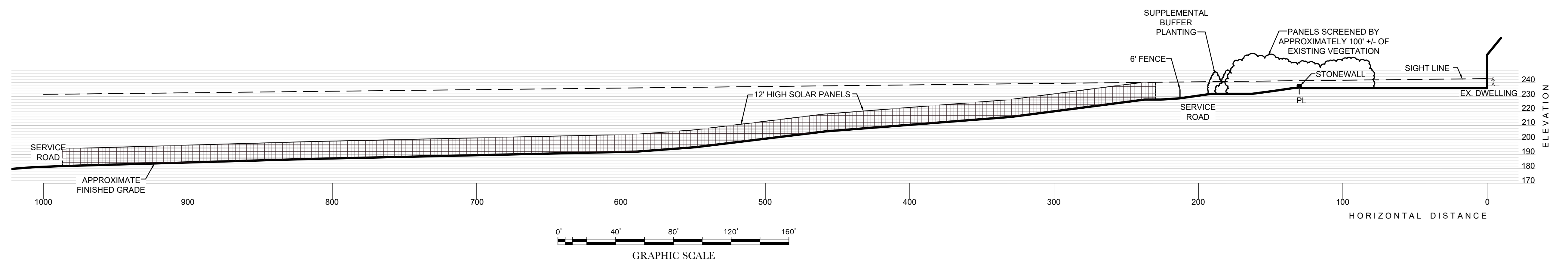
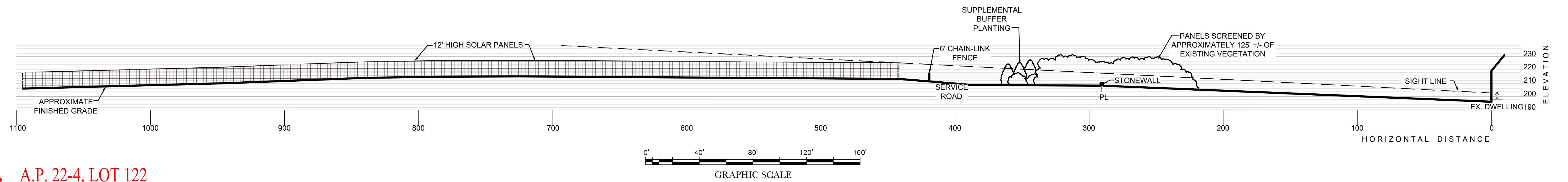
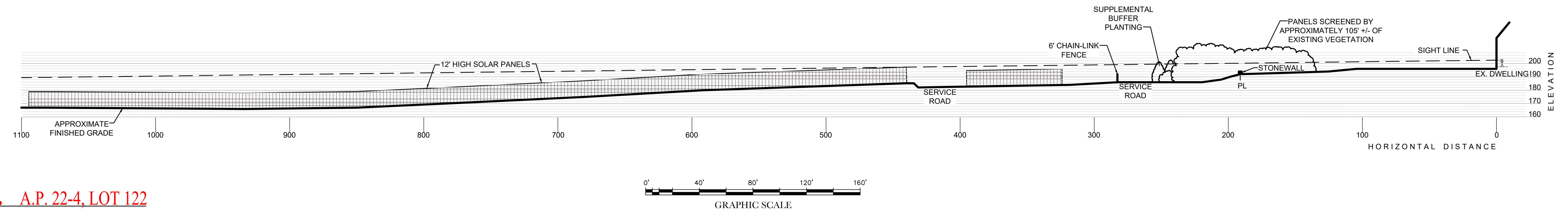
117 Metro Center Blvd.  
Warwick, RI

MAY 8, 2020  
DWN. BY: L.M.W.

SHEET 4 OF 6

NO.	DATE	DESCRIPTION	BY
03/10-22-20		TRANSECTS UPDATED	LMW
02/10-07-20		TRANSECT ADDED & UPDATED	LMW
01/7-22-20		GRADING	LMW





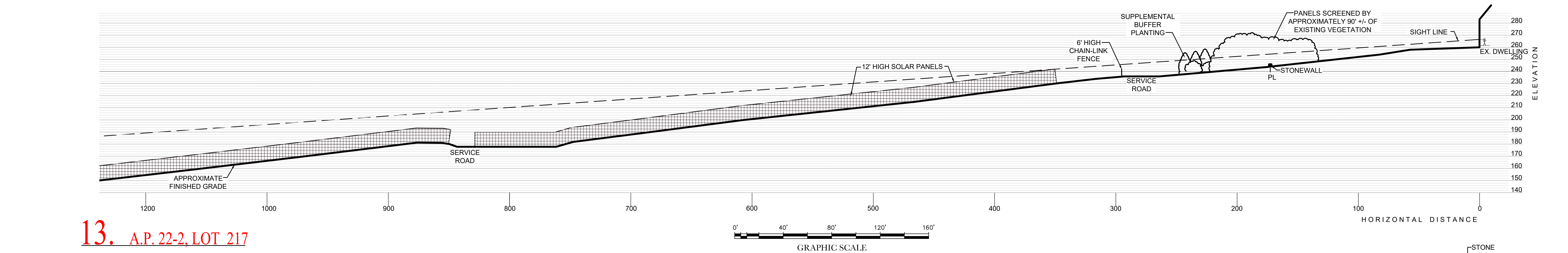
CROSS SECTIONS 3  
**NATICK AVENUE SOLAR**  
 ASSESSOR'S PLAT 22-3 LOTS 108 & 119  
 CRANSTON, RHODE ISLAND  
 PREPARED BY  
**JOHN C. CARTER & COMPANY, INC.**  
 LANDSCAPE ARCHITECTURE  
 960 Boston Neck Road  
 Narragansett, RI 02882  
 (401)783-3500 Fax: (401) 792-1327

NO.	DATE	DESCRIPTION	BY
0310-22-20		TRANSECTS UPDATED	LMW
0210-07-20		TRANSECTS UPDATED	LMW
0117-22-20		GRADING	LMW

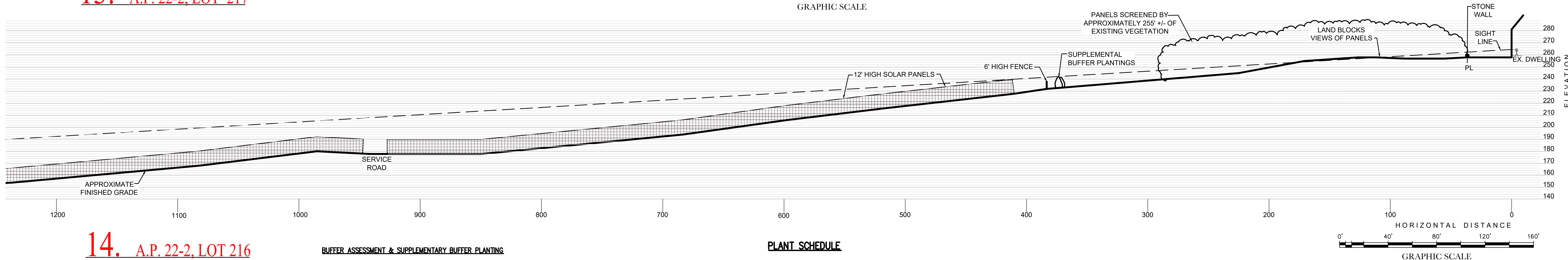
PREPARED FOR  
**REVITY ENERGY, LLC.**  
 117 Metro Center Blvd.  
 Warwick, RI  
 MAY 8, 2020  
 DWN. BY: L.M.W.  
 SHEET **5** OF 6



### 13. A.P. 22-2, LOT 217



### 14. A.P. 22-2, LOT 216



#### BUFFER ASSESSMENT & SUPPLEMENTARY BUFFER PLANTING

1. THE PROPOSED LIMIT OF CLEARING WILL BE DELINEATED IN THE FIELD PRIOR TO ANY LOT CLEARING.
2. LARGE TREES ON THE SOUTH PROPERTY LINE THAT CAST SHADE ON THE SOLAR ARRAY SHALL BE SELECTIVELY REMOVED

#### PLANTING SEQUENCE

1. CARE SHALL BE TAKEN TO NOT DAMAGE THE EXISTING BUFFER VEGETATION WHILE INSTALLING ADDITIONAL PLANTS.
2. IF POSSIBLE, EXCAVATION SHALL BE AVOIDED WITHIN THE DRIP-LINE OF THE EXISTING TREES.

#### PLANTING:

1. PROVIDE QUALITY PLANTS IN THE GENUS, SPECIES AND VARIETY INDICATED IN THE PLANT SCHEDULE, COMPLYING WITH APPLICABLE REQUIREMENTS OF "ANSI Z60.1 AMERICAN STANDARD FOR NURSERY STOCK."
2. PROVIDE PLANTS IN THE SIZE AND NUMBER INDICATED IN THE PLANT SCHEDULE.
3. DELIVER FRESH DUC TREES WHICH ARE BALLED AND BURLAPPED. SHRUBS MAY BE BALLED AND BURLAPPED OR IN CONTAINERS. ALL PLANTS ARE TO BE HEALTHY, VIGOROUS AND FREE OF INSECTS AND DISEASE.
4. PLANTS ARE TO BE INSTALLED AS SPECIFIED IN THE PLANTING DETAILS WITH ADEQUATE WATER PROVIDED DURING PLANTING TO ALLOW COMPACTION OF THE PLANTING SOIL TO PREVENT ANY AIR POCKETS OR SETTLEMENT AFTER PLANTING.
5. ALL PLANTING BEDS ARE TO BE COVERED WITH 2" OF WOOD CHIP MULCH.
6. RECOMMENDED PLANTING DATES ARE APRIL 15 TO JUNE 15 AND SEPTEMBER 15 TO NOVEMBER 15.
7. PLANT SUBSTITUTIONS SHALL BE ALLOWED BASED ON AVAILABILITY. SUBSTITUTIONS MAY BE MADE ONLY WITH DIRECT APPROVAL FROM THE APPLICANT'S LANDSCAPE ARCHITECT OR OWNER. ALL SUBSTITUTIONS SHALL BE THE SAME PLANTING HEIGHT AND GROWTH HABIT AS THE PLANT BEING SUBSTITUTED.

#### MAINTENANCE & WARRANTY:

1. AFTER PLANTING IS COMPLETED, THE OWNER SHALL BE RESPONSIBLE TO PROVIDE ADEQUATE WATER TO ENSURE HEALTHY AND VIGOROUS GROWTH.
2. ANY PLANT WHICH IS NOT ALIVE AND GROWING SATISFACTORILY WITHIN A THREE-YEAR PERIOD SHALL BE REPLACED BY THE CONTRACTOR IN CONFORMANCE WITH THE PLANTING SPECIFICATIONS.
3. PLANTINGS IN AREA D WILL BE TRIMMED TO A HEIGHT OF NO LESS THAN 12'. PLANTINGS IN AREA E WILL BE TRIMMED TO A HEIGHT OF NO LESS THAN 18'.
4. CONTROL OF GROWTH UNDER THE PANELS SHALL BE LIMITED TO MECHANICAL METHODS (MOWING). NO HERBICIDES OR OTHER CHEMICAL MEANS MAY BE USED TO CONTROL GROWTH UNDER THE PANELS.

#### PLANTABLE SEED BED MATERIAL:

A MINIMUM OF 4"-6" OF SEED BED MATERIAL SHALL BE ESTABLISHED WHERE PLACED ON EXISTING SUBSOIL, AND A MINIMUM OF 6" OF SUITABLE SEED BED MATERIAL ON AREAS WITHOUT EXISTING SUBSOIL. THE MATERIAL TO BE FURNISHED SHALL CONSIST OF LOOSE, FRIABLE LOAM FREE OF REFUSE, BRUSH, STUMPS, ROOTS, ROCKS, COBBLES, STONES, NOXIOUS WEEDS, LITTER AND OTHER MATERIALS WHICH ARE LONGER THAN 1 INCH IN ANY DIMENSION AND WHICH WILL PREVENT THE FORMATION OF A SUITABLE SEED BED. ORGANIC MATTER SHALL CONSTITUTE NOT LESS THAN 4 PERCENT NOR MORE THAN 20 PERCENT OF THE PLANTABLE SOIL. THE PLANTABLE SOIL SHALL HAVE AN ACIDITY RANGE OF APPROXIMATELY 5.5 PH TO 7.5 PH. THE PLANTABLE SOIL CAN BE ARRIVED AT BY THOROUGHLY MIXING 75% LOAM WITH NO MORE THAN 25% SUITABLE SUBSOIL. THE RESULTING MIX SHALL BE HOMOGENEOUS MATERIAL FREE FROM HARD LUMPS, OTHER MATERIALS SPECIFIED ABOVE AND BE CAPABLE OF SUPPORTING PLANT GROWTH.

#### PLANT SCHEDULE

##### AREA 'A'

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
PS	10	PINUS STROBUS	EASTERN WHITE PINE	5-8' HT.	10' O.C.

##### AREA 'B'

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
PS	10	PINUS STROBUS	EASTERN WHITE PINE	5-8'	10' O.C.
TP	4	THUJA PLICATA 'GREEN GIANT'	GREEN GIANT ARBORVITAE	5-8'	10' O.C.

##### TREES

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
AC1	35	AMELANCHIER CANADENSIS OR BETULA POPULIFOLIA	SHADBLOW SERVICEBERRY GRAY BIRCH	5-6' HT.	CLUMP
AC2	50	AMELANCHIER CANADENSIS OR BETULA POPULIFOLIA	SHADBLOW SERVICEBERRY GRAY BIRCH	8-10' HT.	CLUMP
IO	20	ILEX OPACA	AMERICAN HOLLY	4-5' HT.	
JV	95	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	7-8' HT.	
PS1	30	PINUS STROBUS	EASTERN WHITE PINE	4-5' HT.	
PS2	30	PINUS STROBUS	EASTERN WHITE PINE	7-8' HT.	

##### SHRUBS

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
+	200 TOTAL			
+		VACCINIUM CORYMBOSUM	HIGH BUSH BLUEBERRY	2 1/2-3'
+		VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	2 1/2-3'
+		MORELLA PENSYLVANICA	BAYBERRY	2 1/2-3'
+		CORNUS RACEMOSA	GRAY DOGWOOD	2 1/2-3'

#### GRASS SEED MIXES

OR APPROVED EQUAL - AVAILABLE AT: ALLEN'S SEED, 693 SOUTH COUNTY TRAIL (RT. 2), EXETER, RI 02822.

#### ENERGYSCAPE SOLAR LOW/SOW GROWING MIX FOR THE AREA BENEATH THE SOLAR PANELS - RATE 7-8 LBS/M/SQ

PERCENT	INGREDIENT
25 %	CHEWINGS FESCUE
25 %	SHEEP FESCUE
12.25 %	HARD FESCUE
12.25 %	STRONG CREEPING RED FESCUE
12.25 %	CREEPING RED FESCUE
12.25 %	HARD FESCUE

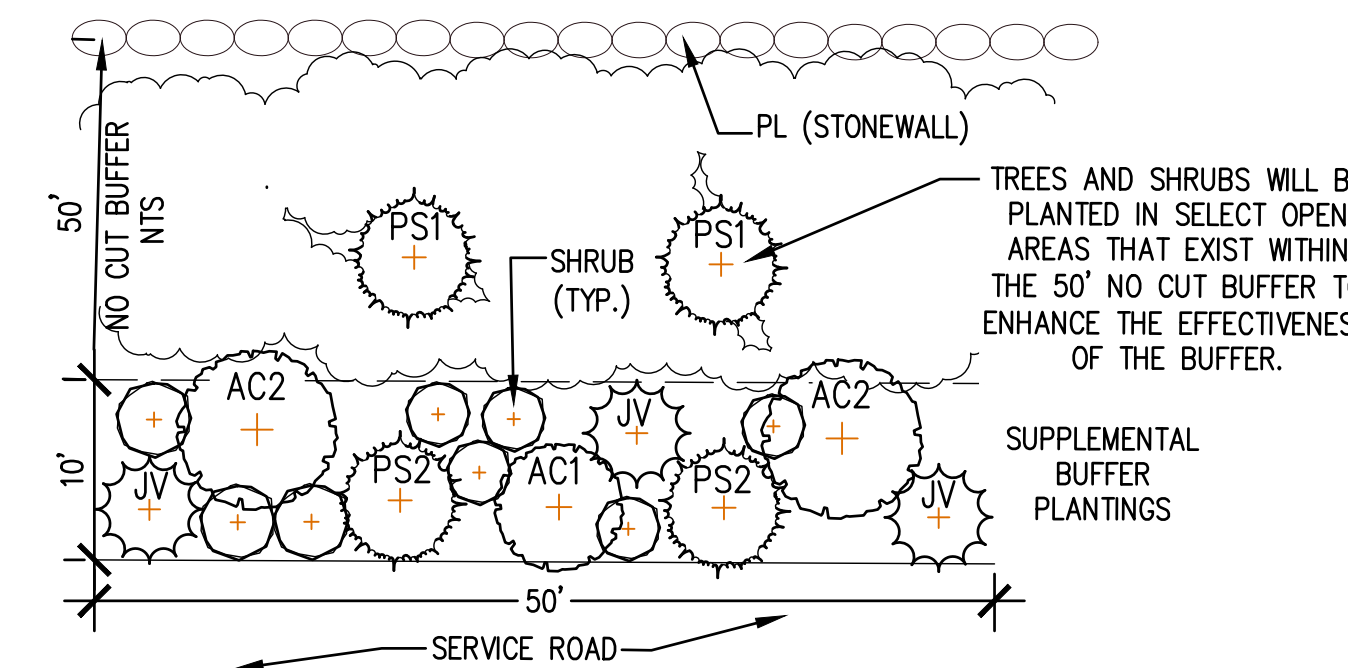
DETENTION PONDS AND STEEP SLOPES WILL BE SEEDED AS SPECIFIED IN THE DEM APPROVED PLAN PREPARED BY DIPRETE ENGINEERING.

#### SOLAR SURROUNDINGS MIX

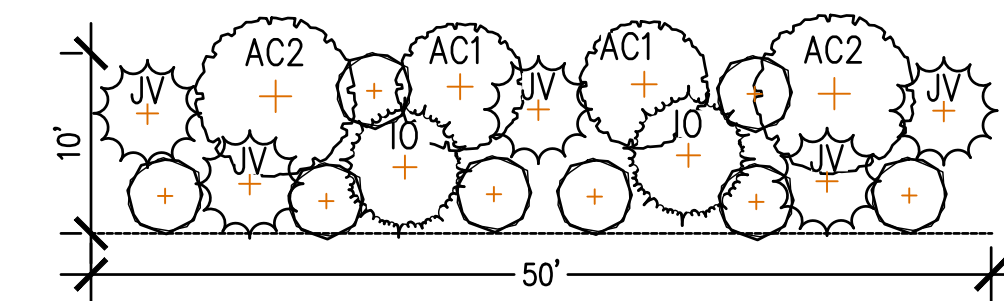
FOR ALL OTHER DISTURBED AREAS OTHER THAN BENEATH THE SOLAR PANELS. - RATE 30-40 LBS/ACER

PERCENT	INGREDIENT
20 %	VIKING H2O HARD FESCUE
20 %	SHEEP FESCUE
15 %	ANNUAL RYE
15 %	VIRGINIA WILD RYE
15 %	LITTLE BLUE STEM
5 %	INDIAN GRASS
3.5%	PARTRIDGE PEA
1.75%	BLACK EYED SUSAN
1.5%	LANCELEAF COREOPSIS
1%	OXEYE SUNFLOWER
1%	PURPLE CONE FLOWER
.25%	BUTTERFLY MILKWEED
.25%	NEW ENGLAND ASTER
.25%	PURPLE JOE PYE WEED
.25%	WILD BERGAMOT
.25%	BONASET

NOTE: PLANT AREAS 'A' AND 'B' ARE NOT PART OF THE NATICK AVENUE SOLAR PROJECT UNDER REVIEW BY THE CITY OF CRANSTON.



C-TYPICAL SUPPLEMENTAL PLANTING DETAIL - 50' PATTERN  
SCALE: NTS



D & E - TYPICAL (AMENDED) SUPPLEMENTAL PLANTING DETAIL - 50' PATTERN  
SCALE: NTS

#### CROSS SECTIONS 4

#### NATICK AVENUE SOLAR

ASSESSOR'S PLAT 22-3 LOTS 108 & 119  
CRANSTON, RHODE ISLAND

PREPARED BY  
**JOHN C. CARTER & COMPANY, INC.**  
LANDSCAPE ARCHITECTURE

960 Boston Neck Road  
Narragansett, RI 02882  
(401)783-3500 Fax: (401) 792-1327

PREPARED FOR  
**REVITY ENERGY, LLC.**

117 Metro Center Blvd.  
Warwick, RI

MAY 8, 2020  
DWN. BY: L.M.W.

SHEET 6 OF 6